



COTTAGE GROVE CITY COUNCIL
12800 RAVINE PARKWAY SOUTH
COTTAGE GROVE, MINNESOTA 55016
COUNCIL CHAMBER - 6:00 PM

June 18, 2025

- 1 Call to Order
- 2 Workshops - Open to Public
 - A Workshop – Cordenio Severance House (Cedarhurst) Proposed Event Center
Staff Recommendation: Receive an overview of the proposed rehabilitation of the building and site located at 6940 Keats Avenue (Cedarhurst) for use as an event center.
- 3 Adjournment



City Council Action Request

2.A.

Meeting Date 6/18/2025

Department Community Development

Agenda Category Presentation

Title Workshop – Cordenio Severance House (Cedarhurst) Proposed Event Center

Staff Recommendation Receive an overview of the proposed rehabilitation of the building and site located at 6940 Keats Avenue (Cedarhurst) for use as an event center.

Budget Implication N/A

Attachments

1.	Cedarhurst Bellagala Workshop CC Memo
2.	Cedarhurst Narrative Description of Work
3.	Cedarhurst Concept Presentation
4.	Cedarhurst 2022 Historic Site Guide

TO: Honorable Mayor and City Council
Jennifer Levitt, City Administrator

FROM: Max Erickson, Planner

DATE: June 11, 2025

RE: Workshop – Cordenio Severance House (Cedarhurst) Proposed Event Center

Background

The Cedarhurst property at 6940 Keats Avenue South is located in the northeast quadrant of the City of Cottage Grove. The current site includes 14 resources – buildings, structures, and objects – located on two landscaped parcels (a total of approximately 13 acres) bordered by former Military Road to the northeast, a single-family housing development to the north and west, Keats Avenue to the east, and 70th Street to the south. Vehicular access is provided at Keats Avenue and 70th Street.

The initial site was constructed and owned by Charles O. Fanning around 1867. He and his family lived at the original small residence. By 1887 the residence changed ownership to Charles' granddaughter Fidelia Harriman and her daughter Mary Harriman. Mary Harriman married Cordenio Severance in 1889. From 1889 until 1925, Cedarhurst was occupied by Mary and Cordenio Severance who was a notable St. Paul attorney by this time. During this time period is when the property was changed into the estate. The Severances utilized Cedarhurst as a country estate – a part-time residence for summer vacations, entertaining guests, and pursuing their individual interests and hobbies. The Severance's both passed away in 1925 and the property was passed to Mary's cousin, Mary Zelch.

The Zelchs owned the property until 1939 when it was purchased by Harvey Boomer, vice president of the Jobbers Supply Company of Minneapolis. Following a divorce in 1946 Celia Boomer was granted the property. The property was then sold in 1950 to Colonel Francis Markoe. In 1962 it was sold to the Catholic Archdiocese of St. Paul who had planned to utilize the property as an elderly living facility, which did not come to pass. The property was vacant until 1973 when the property was purchased by Fredrick Newman. During this time the property was listed on the National Registry of Historic Places.

In 1977 the property was purchased by Jean and Ron Nienaber who utilized Cedarhurst as their personal residence and the site of their catering and interior decorating business. They were the first documented owners to utilize the mansion as an event space for weddings, conferences, and other gatherings. During this time, another addition was added to the west wing (above the original 1867 house) to add a new porch and living space. They made alterations to the roof and added several trees. The property was sold to Leyland Gohlike in 1997, who intended to use the property as a bed and breakfast restaurant and conference center. During this time the kitchen was remodeled, and the garage roof was replaced.

In 2001 the property was purchased by the Thao Family who completed a substantial repair and restoration work. They operated Cedarhurst as event space for weddings, conferences, and other

gatherings. The roof was replaced as well as cornice molding with gutters. A sprinkler system was added, and repairs were made to the floors and walls in various locations of the mansion. Remodeling of the bathroom and the addition of the bar area was also completed at this time.

Recently the site has seen interest from developers looking to create event spaces and redevelop the site while still utilizing the mansion as an attraction. One interested party, the current owner of the site, Three Sixty Real Estate Solutions, LLC, proposed a plan for redevelopment of the site including the addition of residential units while maintaining the mansion; however, they have since abandoned that project.

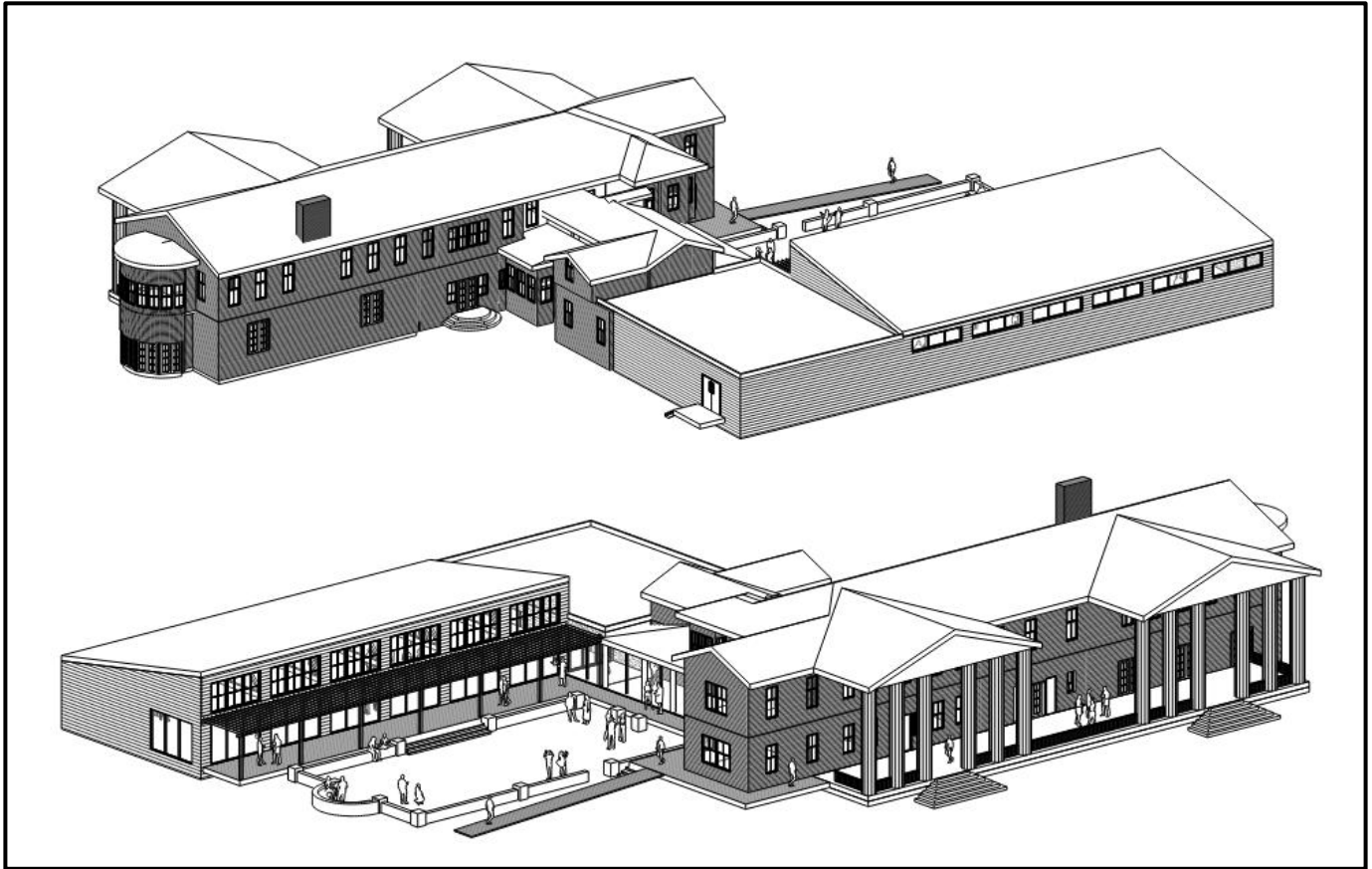
Proposal

The applicant, Bellagala, is interested in purchasing and rehabilitating the Cordenio Severance House (Cedarhurst) and accessory structures at 6940 Keats Avenue. Bellagala is a wedding/event planning business that operates wedding/event venues out of the Twin Cities metro area.



Location

The applicant is proposing to implement improvements to the condition of the Cedarhurst mansion and the surrounding outbuildings/outdoor space while preserving the overall historic integrity, and aesthetic of the mansion and the site. The applicant is proposing to construct an attached addition to the southwestern portion of the mansion to be utilized as an atrium/ballroom. The applicant is proposing to use the mansion and a proposed addition to the southwestern portion of the mansion as a year-round wedding event center.



Proposed Building Layout



Proposed Site Layout

The Cordenio Severance House (Cedarhurst) is listed in the National Register of Historic Places. In 2022, a redevelopment of the site was proposed which triggered the City of Cottage Grove, contracting with New History, to create guidelines for redevelopment of the Cedarhurst site (the mansion and the site) to best maintain the historic integrity. The Cordenio Severance House (Cedarhurst) Historic Site Design Guidelines report highlights important features and structures within the site that are significant and provides suggestions and guidelines for development and rehabilitation to maintain the historic integrity.

The Cordenio Severance Historic Site Design Guidelines, completed by New History, are based on standards outlined by the National Park Service (NPS) and the Secretary of the Interior's *Standards for the Treatment of Historic Properties*. The Standards for the Treatment of Historic Properties are a series of concepts about maintaining, repairing, and replacing historic materials, as well as designing new additions or making alterations to properties. They are applicable to historic properties of all types, including buildings, landscape features, and sites. The Standards allow for four treatment options: Reconstruction, Preservation, Restoration, and Rehabilitation. The Standards for Rehabilitation are applied to historic properties being adapted for current uses. The 10 Standards for Rehabilitation that are used as a guide are as follows:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Additionally, the applicant is working with the State Historic Preservation Office (SHPO) to obtain a tax credit to rehabilitate the site. Under the SHPO tax incentive program, the applicant is required to complete a historic preservation certification application through the National Park Service (NPS) to become a “certified rehabilitation project.” In order to achieve this certification, the project must be determined to be consistent with the historic character of the building and, where applicable, the district in which it is located. There are three parts to this process. Part 1 is a demonstration that the site is historically significant. As the site is nationally registered, Part 1 has been approved. Part 2 for the submittal demonstrates that adequate work will be done to preserve the historically significant features of the mansion and the grounds, and that the mansion and the site are rehabilitated in an adequate manner.

The applicant is currently working on finalizing Part 2 of the SHPO Tax Credit process, which requires them to submit a complete list of work being proposed to preserve historic features. Each feature of the proposed project must be listed outlining the current condition including photos or a sketch of the current condition, and a description of work planned to be done for each feature. The applicant has provided a written draft of Part 2 (Attachment) with the list of features identified and proposed to be rehabilitated along with the description, current condition, and work to be done for each feature. At such time Part 2 is submitted to SHPO, each proposed feature improvement is reviewed and determined if the proposed rehabilitation method is acceptable and aligns with the Secretary of the Interior Standards. Alteration and/or construction may not begin until Part 2 is filed and approved by SHPO and NPS. Once Part 2 is approved, the applicant may proceed with construction. The applicant may not commence construction prior to approvals of Parts 1 and 2 or any incentive will be revoked.

Once construction has concluded, the NPS and SHPO performs a review of the finished project. NPS will not conduct a review until the project is fully completed and the project is placed in service. The application for Part 3 requires photographs of the completed work and is reviewed by NPS to ensure that the completed work aligns with what was shown and approved in Part 2. The requirements for the SHPO tax incentive are meticulous and designed to preserve the historical features of each project. The requirements and the process align with the guidelines outlined in The Historic Site Design Guidelines completed by New History in 2022. The applicant followed the city’s Historic Site Design Guidelines as they completed Part 2.

Planning Considerations

The anticipated use of the site will be that of a wedding/event center. The parcel is zoned AG-2, Agricultural, and is guided in the City’s Land Use Plan as MU – Mixed Use. The Applicant is proposing to re-zone the parcels to align with the City’s 2040 Land Use Plan. Event Centers are permitted with a conditional use permit in the Mixed-Use zoning district per City Code Title 11-8-2 (Permitted, Conditional, Accessory, Administrative, and Interim Uses).

ACHP

Cottage Grove is currently a Certified Local Government (CLG) with the State Historic Preservation office (SHPO). Under the requirements to be “certified”, the City of Cottage Grove holds the responsibility to review all alterations to a property which has been registered as historical. As part of this review, the proposed project is required to be reviewed by the ACHP, which is outlined in Title 2-2 of the City Code. Because alterations of a historical site are being proposed, the ACHP shall review and make recommendations to the Council based on the following factors:

1. Whether the work will significantly alter the appearance of the building or structure so as to remove the features which distinguish the historic site or landmark as a significant cultural resource.

2. Whether the use of the property will destroy, disturb or endanger a known or suspected archaeological feature site.

The ACHP reviewed the proposal at their June 10, 2015, meeting. The Committee requested some details into specifics to be preserved or improved on the site. The Committee voted 5-0 to recommend approval of the proposed improvements to the mansion and the site.

Code Standards

The following are City Code Standards that will be reviewed during the planning application process for the project:

Event Centers are a permitted use with a Conditional Use Permit in Mixed-Use Zoning Districts per City Code Title 11-8-2 (Business Districts).

Special zoning standards for event centers found in title 11-4-4 (Event Centers) must be followed for any planned event operations.

Any newly proposed off-street parking and loading is reviewed per City Code Title 11-3-4 (Off Street Parking and Loading). Parking spaces for this project are dictated by the standards for Event Centers in Title 11-4-4. Event Centers utilize the restaurant standard for parking found in Title 11-3-4 (I).

Any newly proposed fencing or retaining walls must meet standards found in Title 11-3-6 (Fences, Retaining Walls and Screening).

Newly proposed trash enclosures must meet the requirements in Title 11-3-8 (Trash Enclosures).

Proposed mechanical equipment must meet screening requirements found in Title 11-3-9 (Mechanical Equipment Screening Requirements).

Proposed additional lighting must meet requirements in Title 11-3-10 (Glare and Lighting).

All new structures must meet the Architectural design standards listed in title 11-3-11 (Architectural Design Standards).

Landscaping and Tree Preservation must meet the standards found in Title 11-3-12 (Landscaping) and 11-3-13 (Tree Preservation).

Any new signage is required to follow City standards outlined in Title 12 (Sign Regulations).

Recommendation

That the City Council receive an overview of the proposed rehabilitation to the building and site located at 6940 Keats Avenue (Cedarhurst) for use as an event center.

Attachments: Bellagala Narrative and Description of Work
Cedarhurst Concept Presentation
Cedarhurst Historical Site Guide

Architectural Character (Historic Overview)

Existing Conditions:

Cedarhurst Mansion, historically known as the Cordenio Severance House, is a nationally significant Neo-Classical estate located in Cottage Grove, Minnesota. The building was expanded in 1917 by architect Cass Gilbert to serve as a dignified country residence for Severance, a prominent attorney with national political ties. The house's east-facing primary elevation features a two-story Doric hexastyle portico with fanlight pediment and symmetrical fenestration. Narrow wood clapboard siding, original to the 1917 addition, remains intact on the north, east, and south façades, while portions of the earlier 19th-century structure are clad in later aluminum siding.

Notable exterior features include:

- Original wood windows with non-historic fixed shutters
- Semicircular bay on the north ballroom façade
- East and south porches, with the eastern porch serving as the primary ceremonial entry and the south porch belonging to the original farmhouse.
- Low-sloped rooflines with original ridge configurations and decorative eaves

The structure is in good overall condition, though deferred maintenance is evident in select areas, including minor wood deterioration and non-historic porch modifications that have introduced drainage issues.

Proposed Work:

The proposed rehabilitation will convert Cedarhurst Mansion into a year-round luxury wedding and event venue, modeled after successful ABPEC LLC properties. The project will preserve the mansion's architectural integrity while upgrading building systems to support modern hospitality operations. The ballroom will remain the primary gathering space, and all rehabilitation work will follow the Secretary of the Interior's Standards for Rehabilitation.

Key interventions include:

- **Preservation of exterior materials:** No alterations are proposed to the existing siding. Any areas of the roof that have cedar shake shingles will be replaced with asphalt

shingles to match the rest of the building.

- **East Porch upgrades:** The existing masonry floor finish on the east porch will be replaced with historically appropriate brick masonry materials and detailed to improve drainage away from the foundation, correcting water issues without altering the historic portico's structure or appearance.
- **South Porch Upgrades:** Non-historic outdoor carpet floor finish will be removed. Intent to refinish existing hardwood floor beneath. A new storefront window system will be added on the interior side of the historic columns to create a climate controlled entry vestibule without compromising the character of the original farmhouse porch.
- **Attic ventilation and insulation:** Loose fill insulation will be added to the attic to improve energy performance. The existing ridge vent, which is currently blocked, will be reopened to ensure proper ventilation. No other modifications to the roof system are proposed.
- **Mechanical upgrades:** New HVAC systems will be integrated into the existing wall cavities to conceal ductwork. Existing radiators will be reused and connected to a high-efficiency boiler system. Interior wall registers will be added only where necessary, with minimal impact to finishes.
- **Accessibility upgrades:** A walking surface and landing will be added to the south side of the building to provide ADA access to both porches and the historic interior spaces. The current elevator does not meet ADA standards and is nonfunctional. A new Limited Use/Limited Application (LULA) elevator will be installed to provide ADA-compliant access to both floors. The depth of the existing elevator shaft will be slightly altered to meet the requirements for a modern elevator while minimizing disturbance to historic fabric and finishes.

Exterior – Roof

Existing Conditions:

The roof features low-pitched forms consistent with Cass Gilbert's 1917 design, including original ridge lines, deep eaves with decorative detailing, and a mix of roofing materials. Roofing consists of asphalt shingles (primarily), cedar shake shingles (original farmhouse), and intermittent repair patches.

- Several areas above the original farmhouse show deterioration, particularly at the original farmhouse eaves.
- Non-historic gutters remain intact and functional.
- Historic brick chimneys remain but show signs of weathering and masonry damage.
- The attic's ridge vent is currently blocked, limiting ventilation.

Proposed Work:

- Preserve overall roof configuration, including original ridge lines, eaves, and decorative detailing.
- Replace all cedar shake shingles with new asphalt shingles to improve durability and fire resistance.
- Repair deteriorated eaves on the original farmhouse using in-kind wood components.
- Repoint and repair historic brick chimneys as needed, preserving their form and materials.
- Remove a portion of roof above the nonhistoric second-floor porch on west side of the building.
- Restore blocked ridge vent to improve attic ventilation.
- Limit roof repairs to localized in-kind replacement of damaged asphalt shingles.
- No new penetrations or alterations to historic rooflines are proposed.

Exterior - Walls

Existing Conditions:

Cedarhurst Mansion features a mix of historic and non-historic exterior wall materials that reflect its layered construction history. The 1917 Neoclassical expansion by Cass Gilbert is clad in original narrow wood clapboard siding, which remains intact on the north, east, and south façades. This siding is a character-defining element of the estate's historic appearance.

- The clapboard is generally sound but exhibits paint loss, surface weathering, and minor wood deterioration in some areas.
- Decorative trim, including corner boards, eaves, and architectural moldings, remain in place but show signs of wear and deferred maintenance.
- The west elevation, part of the earlier farmhouse, includes non-historic metal siding likely added in the mid-20th century.
- A non-historic enclosed balcony on the west elevation interrupts the original massing and materials.

Proposed Work:

- All historic wood siding will be retained, repaired, and repainted as needed. Where needed, surfaces will be sanded and prepped using non-abrasive methods to protect the underlying material.
- Where needed, minor repairs will be made to architectural trim, eaves, and corner boards, using in-kind materials and profiles.
- The non-historic metal siding on the west façade will be retained and repainted, where appropriate, to maintain weather protection and visual consistency in non-contributing areas.

- The non-historic enclosed balcony on the west elevation will be removed, and the area will become the connection point for a new addition designed to support venue operations.
- No new penetrations or alterations are proposed to the primary historic façade (east elevation) or original cladding.

All exterior work will comply with the Secretary of the Interior's Standards for Rehabilitation, emphasizing material conservation, minimal intervention, and compatibility with historic fabric.

Windows

Existing Conditions:

Cedarhurst Mansion retains a significant number of its original wood windows, primarily double-hung sash units dating to the 1917 Cass Gilbert Neoclassical expansion. These windows are a defining feature of the building's design, particularly on the north, east, and south façades. Many remain protected by original wood storm windows, which have helped preserve glazing, joinery, and profiles.

Window conditions range from fair to deteriorated, with issues such as:

- Peeling or failed paint
- Cracked glazing and missing putty
- Minor wood rot at sills or rails
- Inoperable sashes due to paint buildup or hardware failure

In a limited number of locations, original windows have been replaced with non-historic aluminum-framed units. These are easily distinguishable but located on less prominent façades. While not historically appropriate, they do not compromise the primary character-defining elevations.

Proposed Work:

All remaining historic wood windows will be retained and restored. No full replacements are proposed. Work will be completed by a qualified restoration contractor and will include:

- Paint removal and evaluation of existing sash and frame condition

- In-kind repair or replacement of deteriorated components, matched for profile
- Re-glazing and re-puttying where needed
- Weatherstripping and operability upgrades, including repairs to cords, pulleys, and hardware where needed
- Repainting using historically appropriate colors (white)

Original wood storm windows will be retained where present. Where missing, compatible wood storm windows will be fabricated to match the original profile and detail. No new aluminum or vinyl storm windows are proposed.

Non-historic aluminum windows will be repaired and repainted to match the color and appearance of the historic wood windows. While these windows are not being replaced, the visual consistency will be improved to reduce their contrast with the surrounding historic fabric.

Doors

Existing Conditions:

Cedarhurst Mansion retains several historic exterior doors, including formal paneled wood entry doors and multi-pane French doors, many of which date to the early 20th-century Neoclassical expansion by Cass Gilbert. These doors contribute significantly to the building's architectural rhythm and symmetry, particularly on the south and east façades.

The primary east-facing entrance is framed by a two-story Doric portico and features a prominent paneled wood door with sidelights and a fanlight above. Historic french doors are present on each facade of the building. These glazed wood doors reflect early 20th-century detailing and are consistent with the surrounding window profiles. Historic hardware, including hinges and surface-mounted latch systems, remain in place in many locations. Some doors exhibit weathering, failing paint, and minor deterioration at the sill or lower rails. Several existing door thresholds are too tall or uneven to meet modern ADA accessibility requirements. The current elevator is non-operational and not ADA-compliant.

Proposed Work:

All historic exterior doors will be retained and restored. Restoration will be conducted by qualified craftspeople using in-kind materials and reversible methods.

Scope of work includes:

- Paint removal and repair of deteriorated wood components
- In-kind replacement of rails, stiles, or panels where needed
- Hardware refurbishment or in-kind replacement using compatible historic hardware
- Re-glazing of glass lights in French doors where cracked or missing, using matching restoration glass
- Repainting with historically appropriate colors

French Door Reconfiguration for ADA Access:

To accommodate universal access while preserving the historic design intent:

- Two pairs of historic French doors on the south porch will be repositioned within the same wall plane to make room for the installation of a new ADA-compliant pair of glass-paneled doors.
- The repositioned historic French doors will remain on the same façade to avoid loss of historic fabric.

Threshold Modifications:

To meet ADA standards:

- Low-profile metal thresholds will be added to select exterior doors.
- These thresholds will be custom-fit, minimally visible, and fully reversible to avoid permanent alteration to historic sills or framing.

Site and Landscape

Existing Conditions:

The grounds of Cedarhurst Mansion include expansive lawns, mature trees, a deteriorated rose garden, informal gravel drives, and landscaped areas surrounding the historic east porch. The east lawn historically served as the estate's formal arrival and gathering space, consistent with its role as a prominent country residence.

- Vehicular access and ADA accessibility are currently limited, with no designated accessible paths to primary entrances.
- Circulation relies on informal pathways and compacted turf, which do not meet contemporary accessibility or event use standards.
- The rose garden has lost its original landscape integrity, and its masonry walls show signs of deterioration. The historic trellis above the walls is no longer present.
- Several non-contributing outbuildings—namely a barn, chicken coop, and upholstery shop—remain on site but do not retain historic integrity. Due to years of deferred maintenance, they have all deteriorated to a state where repair is not feasible.

Proposed Work:

To accommodate the building's adaptive reuse as a year-round event venue, the site will be rehabilitated to support accessibility, circulation, and functionality while preserving historic character and key landscape features.

- Construct a new parking lot (75-100 parking stalls) in a discreet area of the property, screened with plantings and topography to minimize visibility from primary historic viewsheds.
- Install a west-side service drive and drop-off loop near the new kitchen addition to support back-of-house logistics and maintain the formal approach from the east.
- Install ADA-compliant walkways to connect the east and south porches to key site areas. Pathways will be sensitively integrated into the landscape to avoid disruption of mature trees or topography.
- Rehabilitate the rose garden to reflect its historic layout and ceremonial use. Work includes:
 - Repairing and repointing the historic masonry walls and balustrade.
 - Remove portion of masonry boundary along east edge to accommodate ADA access.
 - Intent to preserve overall masonry boundary, which remains deteriorated yet intact despite the loss of the upper lattice.

- Improving subsurface drainage and replanting with hardy, low-maintenance species.
 - Designing for long-term use, including event photography and small gatherings.
 - The historic lattice/trellis structure will not be reconstructed at this time but may be considered in the future.
 - Remove non-contributing structures located on the west portion of property (barn, chicken coop, upholstery shop) to improve site flow and open views to the main house. The Gilbert-era shed and horse barn will be retained.
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East Porch Rehabilitation

Existing Conditions:

The east porch is the primary ceremonial entrance to Cedarhurst Mansion and a defining element of the 1917 Neoclassical expansion by Cass Gilbert. It features a two-story Doric portico, originally paired with a brick and concrete masonry floor and a classically detailed balustrade composed of turned masonry balusters and a continuous rail.

- The floor surface was altered in the mid-20th century using non-historic materials in an unsuccessful attempt to address drainage. The current surface directs water toward the building, causing moisture-related deterioration near the foundation.
- The original masonry balustrade remains largely intact, though some joints and surfaces show signs of weathering and deferred maintenance.
- The porch currently lacks accessible access, and the adjacent landscape does not provide an ADA-compliant path to the main entry.

Proposed Work:

The east porch will be rehabilitated to restore historic features, address drainage concerns, and introduce discreet accessibility improvements.

- The non-historic porch surface will be removed and replaced with masonry flooring, sloped to drain water away from the building. The new surface will match the original

pattern as seen in historic photographs.

- The original masonry balustrade will be retained, cleaned, and repaired, including repointing mortar joints and stabilizing balusters as needed.
- To allow for ADA access to the primary entrance, a small section of the balustrade will be removed at the southwest corner of the porch, adjacent to the exterior wall. This location was selected to be minimally visible from the primary (east) lawn and will allow for connection to a new ADA-compliant ramp.
- The removed balustrade section will be carefully documented and stored, and the intervention will be fully reversible.
- No changes will be made to the overall footprint, column configuration, or height of the porch.

All proposed work will be conducted in accordance with the Secretary of the Interior's Standards for Rehabilitation, with an emphasis on preserving significant features, ensuring long-term performance, and introducing accessibility in a historically sensitive manner.

New Addition (Atrium + Kitchen Staging Area)

Existing Conditions:

No addition currently exists in this area. The west side of the original farmhouse (not part of the 1917 Neoclassical expansion) provides a suitable location for a new addition. This area is visually secondary and offers space for back-of-house operations and guest support functions without impacting key historic façades or viewsheds, including the prominent east approach.

Proposed Work:

A new one-story addition will be constructed on the west elevation of the mansion to house two programmatic elements: an atrium lounge and a kitchen staging area. The atrium will serve as a garden-style indoor/outdoor gathering space, designed with a shed roof and exposed wood trusses to create a transparent, light-filled environment that blends modern hospitality with the mansion's formal garden setting. The kitchen wing will support catering and event logistics, discreetly located and fully concealed from guest views.

The addition will be clearly differentiated from the historic structure in both massing and materiality while remaining compatible in scale, proportion, and detail. Materials will be high quality and intentionally contemporary, with thoughtful transitions to the existing building. The addition will connect at the west facade, adjacent to the location of the existing nonhistoric kitchen and enclosed balcony, which will be removed as part of the rehabilitation.

This work complies with the Secretary of the Interior's Standards for Rehabilitation, particularly those addressing new additions, and has been designed to ensure the new construction is reversible and respectful of the mansion's historic character.

7. Interior Plan – Main Floor Renovation

Existing Conditions:

The main floor retains its original ballroom and some room divisions, but alterations over time (e.g., non-historic partitions) have disrupted flow and service efficiency.

Proposed Work:

- Convert storage room, previously used as pantry, into ADA compliant bathrooms.
- Restore historic room connections, including original pass-through in the reception hall.
- Preserve ballroom layout and historic finishes throughout the building where intact.
- Improve entry sequence and circulation for modern event use.

8. Second Floor Plan – Bridal and Groom's Suites

Existing Conditions:

The second floor is a double loaded corridor with residential-style bedrooms and common areas. Some historic finishes are intact - hardwood floors, tile floors in bathrooms, plaster walls, and plaster ceilings. Non-historic finishes are present throughout the second floor. Non-historic finishes include carpet, wall paper, lighting fixtures, and window treatments. The existing interior corridor is not linear, due to the Cass Gilbert expansions, creating portions that fail to meet ADA or code requirements for width.

Proposed Work:

- Portion of interior corridor that is too narrow to allow for access will be altered. New circulation path will be created to accommodate an ADA compliant path throughout the building.
 - Convert the second floor into two hospitality suites for bridal and groom preparation, each with private restrooms and lounge areas.
 - **Bride's Suite:** French and Art Nouveau-inspired design, referencing 1917 dignitary furnishings.
 - **Groom's Suite:** Clubhouse aesthetic with aged leather, rich finishes, and a connected bar lounge.
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Accessibility Improvements

Existing Conditions:

Cedarhurst Mansion is not currently compliant with ADA accessibility standards. The building lacks accessible entrances and internal vertical circulation, and the existing restrooms and site pathways do not accommodate guests with mobility needs. The historic elevator is non-functional and does not meet code requirements. Entrances are elevated above grade and feature original thresholds that present accessibility barriers.

Proposed Work:

The rehabilitation will introduce accessibility upgrades designed to minimize impact on historic features while providing equitable access for all guests. Interventions will include:

- Installation of a LULA (Limited Use/Limited Application) elevator within the existing elevator shaft to provide vertical access between the main public floors.
- Exterior access improvements, including a new ADA-compliant ramp and landing at the south side of the building. A small section of the original porch balustrade will be carefully removed to accommodate ADA access to the front porch (primary elevation); however, it is located away from the primary approach and will not be visible from the front lawn. The intervention will be reversible and will preserve the porch's architectural integrity.
- Threshold modifications at select exterior doors using low-profile metal transitions, designed to meet ADA standards while maintaining the historic appearance of

entryways. All thresholds will be custom-fit and reversible.

- The existing pantry on the first level, adjacent to the porch on the south elevation, will be converted into ADA accessible bathrooms.
- Accessible site circulation, including new walkways and entry routes, will ensure barrier-free access from parking areas and drop-off zones to key program spaces throughout both floors of the historic building and new atrium.

All accessibility improvements have been designed to comply with ADA Standards for Accessible Design and are consistent with the Secretary of the Interior's Standards for Rehabilitation, ensuring that modifications are sensitive, reversible, and do not compromise the historic character of the property.

Interior – Basement

Existing Conditions:

The basement of Cedarhurst Mansion is primarily unfinished and currently used for mechanical systems and limited storage. The existing boiler is outdated, and while the foundation is generally stable, some localized repairs may be required. There are minimal signs of water intrusion at this time. Access to the basement is provided via a non-historic exterior entrance on the west side of the building.

Proposed Work:

- Replace the existing boiler with a high-efficiency unit as part of the HVAC system upgrade.
- Connect new sanitary sewer and water service lines to support building-wide infrastructure improvements.
- Clean and clear basement spaces of existing debris and non-essential materials.
- Perform localized foundation repairs as needed to address any structural deficiencies.

- Retain basement use primarily for mechanical distribution, utility access, and general storage.
 - Replace the non-historic exterior basement doors with secure and safe new doors, designed to be visually discreet and compatible with the overall architectural character.
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Interior – Level 1

Existing Conditions:

The main floor of Cedarhurst Mansion retains key historic features, including the central ballroom and several original room divisions. However, a number of non-historic alterations—such as partitions, carpeting, wallpaper, light fixtures, and service modifications—have diminished the clarity and usability of the original layout. The existing elevator is nonfunctional and does not meet current ADA requirements, though it contains historic elements of note.

Proposed Work:

The main floor will be reconfigured and restored to support hospitality use while honoring the mansion’s architectural character. Proposed interventions include:

- **Selective Demolition & Circulation Improvements:**
 - Remove non-historic partitions per Demo Plan D1.1 to restore original room dimensions and improve spatial flow.
 - Reopen the original pass-through between the future bar and dining room (pending final field confirmation).
 - Improve interior circulation and guest experience for formal entry and event transitions.
- **Historic Room Restoration & Feature Preservation:**
 - Preserve ballroom layout and original finishes, including plasterwork, trim, and ceiling details.

- Remove non-historic carpeting and refinish underlying wood flooring where present and salvageable.
 - Strip non-historic wallpaper and repaint walls using historically sympathetic finishes.
 - Remove and replace non-original light fixtures with more appropriate or concealed options that support hospitality use.
 - **Service Area Upgrades:**
 - Remodel the non-historic kitchen for catering functions while minimizing impact to adjacent historic finishes.
 - Convert the existing pantry into ADA-compliant restrooms using a minimally invasive approach.
 - **Elevator Transition:**
 - Carefully remove historic interior components of the existing elevator cab.
 - Reuse and reinstall these elements within the new LULA elevator cab to preserve character and maintain continuity.
 - New elevator shaft will be slightly expanded to accommodate modern elevator while limiting impacts to historic fabric and finishes.
-

Interior – Level 2

Existing Conditions:

The second floor contains a mix of historic and non-historic elements. Original hardwood flooring remains in many rooms, with some areas covered in non-historic carpet or painted. Walls and ceilings are primarily plaster—some painted, others covered in non-historic wallpaper. Bathrooms feature a combination of tile finishes, historic and nonhistoric bathroom

fixtures. The main stair includes what appear to be original wood handrails and balusters. Circulation has been altered over time by non-historic partitions, closets, and a small enclosed porch at the north façade.

Proposed Work:

- Selectively remove portions of interior partitions, closets, and bathrooms to enhance functionality and circulation.
- Remove non-historic carpet and wallpaper throughout.
- Refinish and repaint existing plaster walls and ceilings.
- Refinish original hardwood floors.
- Remove and upgrade all non-historic lighting fixtures and replace them with fixtures compatible with the mansion's historic era.
- Preserve and refinish original stair handrails and balusters as needed.
- Remove the enclosed second-floor porch at the north façade.
- Reconfigure circulation and door openings to meet accessibility standards while preserving historic casing and trim wherever possible.
- Slightly expand the existing elevator shaft to accommodate a new ADA-compliant LULA elevator. Salvaged decorative elements from the historic elevator cab will be reinstalled in the new lift to preserve continuity of character.

Interior – Attic

Existing Conditions:

The attic is unfinished and primarily used for storage. The space is currently under-ventilated due to a blocked ridge vent. There are no known historic finishes or features within this level, and access is limited to staff and maintenance personnel.

Proposed Work:

- Retain the attic as a service and mechanical area; no public access is proposed.
 - Add loose-fill insulation to improve building energy performance.
 - Reopen the existing ridge vent to restore proper ventilation and reduce heat buildup.
 - No framing alterations or new floor construction is proposed.
 - Minor repairs will be performed as needed to maintain structural and thermal performance.
-

MEP Scope**Existing Conditions:**

The building's existing MEP systems are outdated and insufficient for contemporary use as a public event venue.

- The original steam heating system remains in place but is no longer fully functional.
- Electrical systems are outdated, with limited service capacity.
- Plumbing is aging, with fixtures in varying states of condition.
- There is no central cooling system or mechanical ventilation.

Proposed Work:

To support year-round operations and meet modern code requirements, new high-efficiency MEP systems will be installed while minimizing impact to historic fabric:

- **Mechanical (HVAC):**

- Install new high-efficiency boiler system; retain and reuse select historic radiators where feasible.
- Introduce new ducted air handling units and ventilation systems, carefully routed to avoid visible impact in historic spaces.
- Add air conditioning to support guest comfort, with air distribution concealed within existing chases, basement, and attic spaces.

- **Electrical:**

- Replace outdated electrical panels and wiring to meet current capacity and safety codes.
- Upgrade lighting systems; non-historic fixtures will be removed and replaced with historically appropriate or discreet modern alternatives.
- Install new power, data, and AV infrastructure to support event functions.

- **Plumbing:**

- Install new water and sewer service connections.
- Replace aging supply and drain lines as needed.
- The majority of the existing restroom facilities will be restored. New bathrooms will accommodate ADA-compliant fixtures.
- Add plumbing infrastructure to support catering kitchen in the existing kitchen and new addition.

- **Fire Suppression (Sprinklers):**

- A new building-wide sprinkler system will be installed to meet current fire and life safety code requirements.

- The system will be designed to minimize visual impact in historic spaces and will be concealed within ceilings, wall cavities, or secondary spaces wherever possible.

All MEP work will be designed and installed to preserve historic finishes and character-defining features. Systems will be accessible for future maintenance and upgrades without requiring significant demolition or alteration to historic spaces.

PROJECT OVERVIEW

CEDARHURST MANSION, HISTORICALLY KNOWN AS THE CORDENIO SEVERANCE HOUSE, IS A **NATIONALLY SIGNIFICANT NEO-CLASSICAL ESTATE** LOCATED IN COTTAGE GROVE, MINNESOTA.

THE ORIGINAL 1860’S FARMHOUSE WAS **EXPANDED IN 1917 BY ARCHITECT CASS GILBERT** TO SERVE AS A DIGNIFIED COUNTRY RESIDENCE FOR SEVERANCE, A PROMINENT ATTORNEY BASED IN SAINT PAUL WITH NATIONAL POLITICAL TIES.

THE HOUSE’S **EAST-FACING PRIMARY ELEVATION** FEATURES A TWO-STORY DORIC HEXASTYLE PORTICO WITH FANLIGHT PEDIMENT AND SYMMETRICAL FENESTRATION.



PRIMARY ELEVATION

PROJECT OVERVIEW

NOTABLE EXTERIOR FEATURES INCLUDE:

- ORIGINAL WOOD WINDOWS WITH NON-HISTORIC FIXED SHUTTERS
- SEMICIRCULAR BAY ON THE NORTH BALLROOM FAÇADE
- EAST AND SOUTH PORCHES, WITH THE EASTERN PORCH SERVING AS THE PRIMARY CEREMONIAL ENTRY AND THE SOUTH PORCH BELONGING TO THE ORIGINAL FARMHOUSE.
- LOW-SLOPED ROOFLINES WITH ORIGINAL RIDGE CONFIGURATIONS AND DECORATIVE EAVES
- HISTORIC FRONT LAWN AND APPROACH
- HISTORIC ROSE GARDEN



PRIMARY ELEVATION - DAY

PROJECT OVERVIEW

THE PROPOSED REHABILITATION WILL CONVERT CEDARHURST MANSION INTO **A YEAR-ROUND LUXURY WEDDING AND EVENT VENUE.**

THE PROJECT WILL **PRESERVE** THE MANSION'S ARCHITECTURAL INTEGRITY WHILE UPGRADING BUILDING SYSTEMS TO SUPPORT MODERN HOSPITALITY OPERATIONS.

ALL REHABILITATION WORK WILL FOLLOW **THE SECRETARY OF THE INTERIOR'S STANDARDS** FOR REHABILITATION.



PRIMARY ELEVATION - NIGHT

PROJECT SCOPE

PROPOSED WORK CONSISTS OF:

- 1. SITE WORK
 - NEW PARKING LOT
 - EXPANDED DRIVE AISLE
 - UPGRADED UTILITIES
 - ROSE GARDEN REHABILITATION
 - ADDITIONAL LANDSCAPING
 - REMOVAL OF UNSAFE OUTBUILDINGS
- 2. PRESERVATION
 - DEFERRED MAINTENANCE ON EXTERIOR AND INTERIOR OF HISTORIC MANSION
 - MECHANICAL SYSTEM UPGRADES
 - ADDITIONAL ATTIC INSULATION AND BASEMENT WATERPROOFING
- 3. ADDITIONS AND ALTERATIONS
 - APPROX. 4,000 SQFT ATRIUM
 - EXTERIOR ACCESSIBLE RAMPING
 - MINIMAL INTERIOR DEMO FOR CODE COMPLIANCE AND PROGRAMMATIC FUNCTIONALITY



CONCEPT AERIAL VIEW - FRONT



1. SITE WORK

CONSTRUCT A **NEW PARKING LOT** (75-100 PARKING STALLS) IN A DISCREET AREA OF THE PROPERTY, SCREENED WITH PLANTINGS AND TOPOGRAPHY TO **MINIMIZE VISIBILITY FROM PRIMARY HISTORIC VIEWSHEDS**.

EXISTING **DRIVE AISLE** TO BE **WIDENED** TO ALLOW FOR EMERGENCY VEHICLE ACCESS AND PRESERVE THE FORMAL APPROACH FROM THE EAST.

UTILITY UPGRADES FOR WATER AND SEWER CONNECTIONS,

ONSITE **STORMWATER MANAGEMENT** INTERVENTIONS TO BE THOUGHTFULLY INTEGRATED INTO SITE DESIGN.



CONCEPT AERIAL VIEW - REAR



1. SITE WORK

REHABILITATE THE ROSE GARDEN TO REFLECT ITS HISTORIC LAYOUT AND CEREMONIAL USE BY **REPAIRING AND REPOINTING** THE HISTORIC MASONRY WALLS AND BALUSTRADE.

REMOVE UNSAFE, NON-CONTRIBUTING STRUCTURES LOCATED ON THE WEST PORTION OF PROPERTY (BARN, CHICKEN COOP, UPHOLSTERY SHOP) THAT HAVE DETERIORATED TO A STATE WHERE **REPAIR IS NOT FEASIBLE** DUE TO YEARS OF DEFERRED MAINTENANCE.

NEW TREES AND PLANTINGS TO BE INCORPORATED ADJACENT TO ATRIUM ADDITION AND WITHIN HISTORIC ROSE GARDEN LOCATION. HARDY, LOW MAINTENANCE SPECIES TO **HELP IMPROVE SUBSURFACE DRAINAGE**.



CONCEPT AERIAL VIEW - REAR



2. PRESERVATION

DEFERRED MAINTENANCE EXTERIOR:

ALL HISTORIC WOOD SIDING WILL BE **RETAINED**, REPAIRED, AND REPAINTED AS NEEDED.

WHERE NEEDED, **MINOR REPAIRS** WILL BE MADE TO ARCHITECTURAL TRIM, EAVES, AND CORNER BOARDS, **USING IN-KIND MATERIALS** AND PROFILES.

IN-KIND REPAIR OR REPLACEMENT OF DETERIORATED WINDOW AND DOOR COMPONENTS, MATCHED FOR PROFILE. RE-GLAZING AND RE-PUTTYING WHERE NEEDED.

THE **EAST PORCH WILL BE REHABILITATED** TO RESTORE HISTORIC FEATURES, ADDRESSING **DRAINAGE ISSUES** DUE TO MID 20TH CENTURY ALTERATION THAT DIRECTS WATER TOWARD THE BUILDING.

LIMIT ROOF REPAIRS TO LOCALIZED **IN-KIND REPLACEMENT OF DAMAGED ASPHALT SHINGLES**. REPAIR/REPLACE DAMAGED GUTTERS AND DOWNSPOUTS AS NEEDED.



EXTERIOR PHOTOS - APRIL 2025

2. PRESERVATION

DEFERRED MAINTENANCE INTERIOR:

REPAIR AND REFINISH ORIGINAL
HARDWOOD FLOORS BY GENTLEST
MEANS.

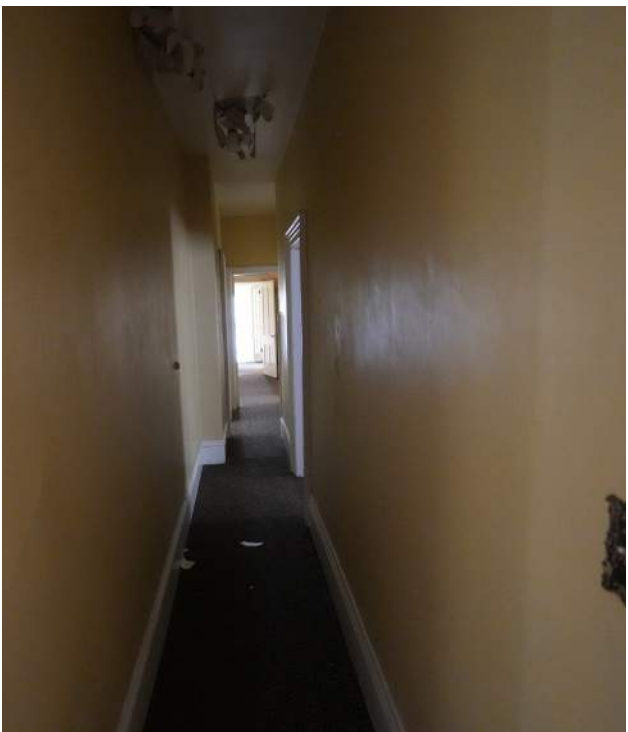
REMOVE NON-HISTORIC CARPETING
AND REFINISH UNDERLYING WOOD
FLOORING WHERE PRESENT AND
SALVAGEABLE.

STRIP NON-HISTORIC WALLPAPER AND
REPAINT WALLS USING HISTORICALLY
SYMPATHETIC FINISHES.

REFINISH (REPAIR AS NEEDED) AND
REPAINT EXISTING PLASTER WALLS
AND CEILINGS.

REMOVE AND REPLACE NON-
ORIGINAL LIGHT FIXTURES WITH MORE
HISTORICALLY APPROPRIATE OR
CONCEALED OPTIONS.

PRESERVE AND REFINISH ORIGINAL
STAIR HANDRAILS AND BALUSTERS AS
NEEDED.



INTERIOR PHOTOS - APRIL 2025

2. PRESERVATION

PERFORM LOCALIZED **FOUNDATION REPAIRS** AS NEEDED IN BASEMENT TO ADDRESS STRUCTURAL DEFICIENCIES AND WATER INFILTRATION.

ADD LOOSE-FILL INSULATION THROUGHOUT ATTIC TO **IMPROVE ENERGY PERFORMANCE**. REOPEN THE EXISTING RIDGE VENT TO RESTORE PROPER VENTILATION AND REDUCE HEAT BUILDUP.

INSTALL **NEW HIGH-EFFICIENCY BOILER SYSTEM**; RETAIN AND **REUSE SELECT HISTORIC RADIATORS** WHERE FEASIBLE.

INTRODUCE **NEW DUCTED AIR HANDLING UNITS** AND VENTILATION SYSTEMS, CAREFULLY ROUTED TO **AVOID VISIBLE IMPACT** IN HISTORIC SPACES.

REPLACE OUTDATED ELECTRICAL PANELS AND WIRING TO MEET CURRENT CAPACITY AND SAFETY CODES.

A **NEW BUILDING-WIDE SPRINKLER SYSTEM** WILL BE INSTALLED TO MEET CURRENT **FIRE AND LIFE SAFETY** CODE REQUIREMENTS.



INTERIOR PHOTOS - APRIL 2025

3. ADDITIONS & ALTERATIONS

PROPOSED WORK CONSISTS OF:

A NEW **ONE-STORY ADDITION** WILL BE CONSTRUCTED ON THE WEST ELEVATION OF THE MANSION TO HOUSE TWO PROGRAMMATIC ELEMENTS: **AN ATRIUM LOUNGE AND A KITCHEN STAGING AREA.**

THE ADDITION WILL BE **CLEARLY DIFFERENTIATED** FROM THE HISTORIC STRUCTURE IN BOTH MASSING AND MATERIALITY **WHILE REMAINING COMPATIBLE** IN SCALE, PROPORTION, AND DETAIL.

THE ADDITION WILL **LIGHTLY CONNECT** AT THE WEST FACADE, ADJACENT TO THE LOCATION OF THE EXISTING **NON-HISTORIC KITCHEN.**

THIS WORK **COMPLIES WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION**, PARTICULARLY THOSE ADDRESSING NEW ADDITIONS, AND HAS BEEN DESIGNED TO ENSURE **THE NEW CONSTRUCTION IS REVERSIBLE AND IS IN DEREERENCE** TO THE MANSION'S HISTORIC CHARACTER AND SIGNIFICANCE.



ADDITION VIEW FROM ROSE GARDEN

3. ADDITIONS & ALTERATIONS



HISTORIC PRIMARY ELEVATION (EAST)



BIRDSEYE VIEW OF ATRIUM ADDITION



ACCESSIBLE ROUTE



ROSE GARDEN VIEW FROM ATRIUM ADDITION

3. ADDITIONS & ALTERATIONS

FIRST FLOOR ALTERATIONS:

MINOR ALTERATIONS ARE NEEDED TO MEET **ACCESSIBILITY AND CODE COMPLIANCE**, AS WELL AS PROGRAMMATIC FUNCTIONALITY.

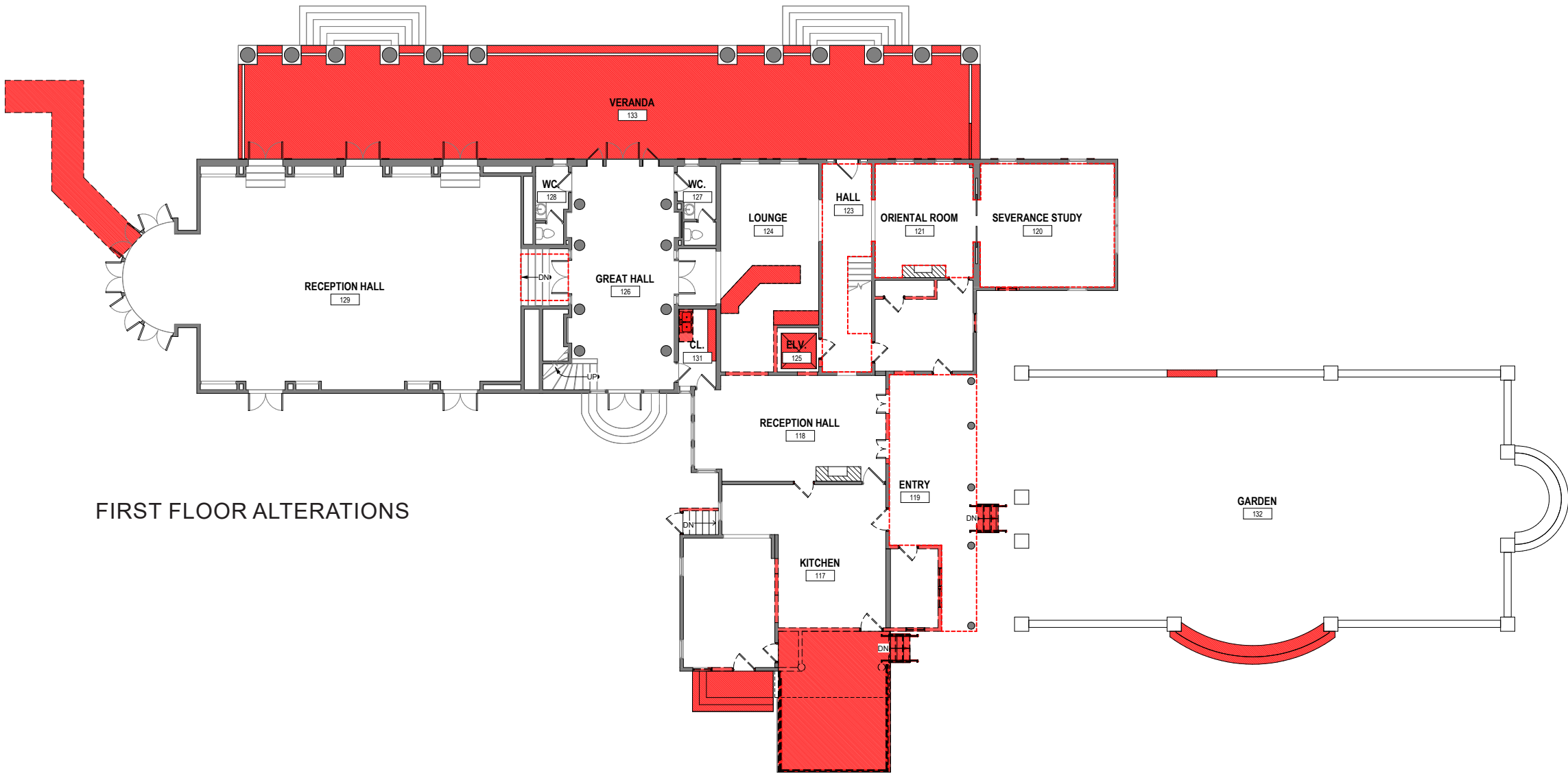
EAST PORCH RESTORATION AND REPAIR

RESTORE HISTORIC ROOM CONNECTIONS, INCLUDING ORIGINAL PASS-THROUGH IN THE RECEPTION HALL.

PRESERVE BALLROOM LAYOUT AND HISTORIC FINISHES THROUGHOUT THE BUILDING WHERE INTACT.

REMOVE NON-HISTORIC WEST PORCH FOR NEW ADDITION CONNECTION.

REMOVE NON-HISTORIC CARPETING THROUGHOUT.



FIRST FLOOR ALTERATIONS



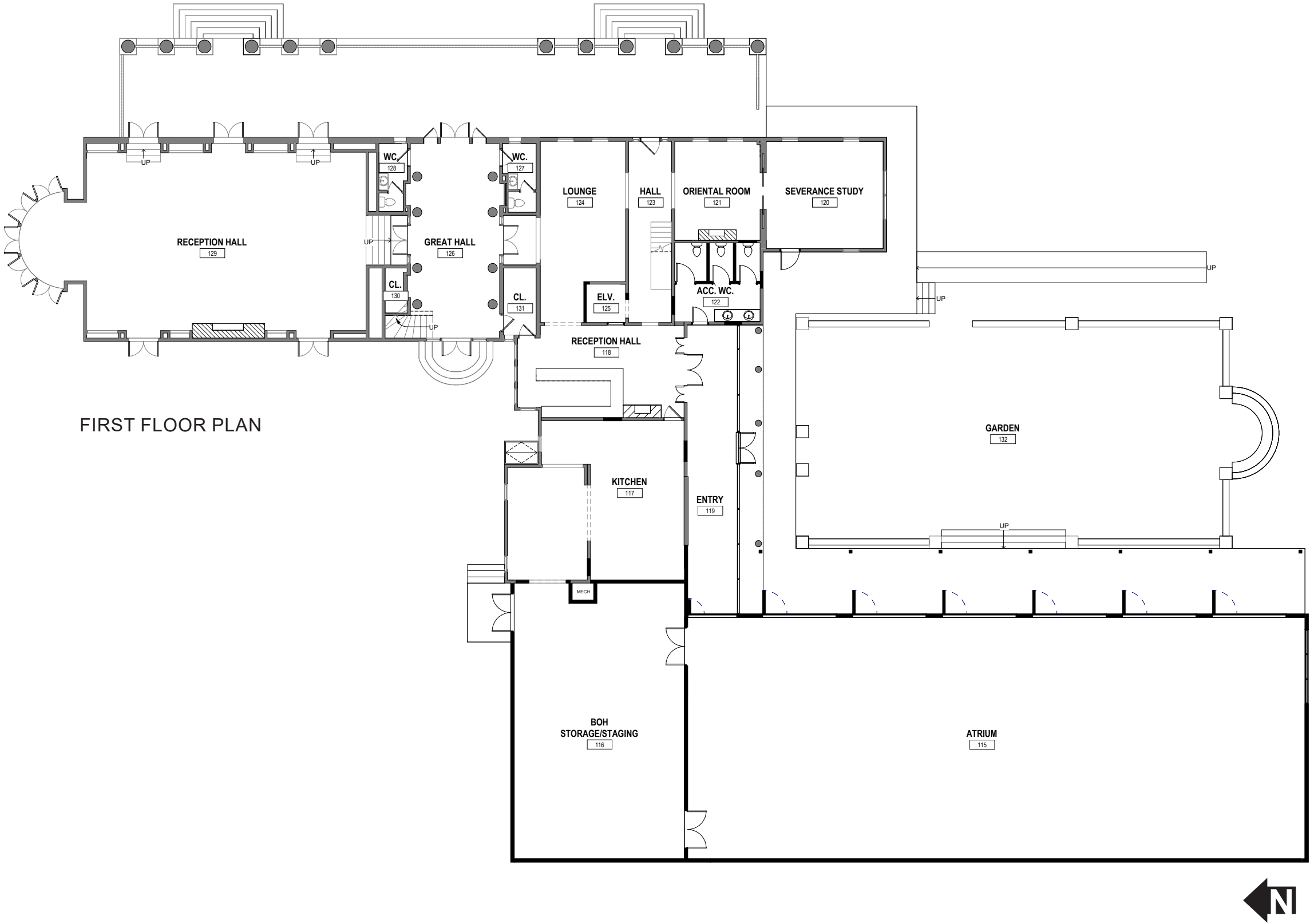
3. ADDITIONS & ALTERATIONS

FIRST FLOOR PLAN:

ACCESSIBLE SITE CIRCULATION, INCLUDING NEW WALKWAYS AND ENTRY ROUTES, WILL ENSURE **BARRIER-FREE ACCESS** FROM PARKING AREAS AND DROP-OFF ZONES TO KEY PROGRAM SPACES THROUGHOUT BOTH FLOORS OF THE HISTORIC BUILDING AND NEW ATRIUM.

CONVERT STORAGE ROOM, PREVIOUSLY USED AS PANTRY, INTO **ADA COMPLIANT BATHROOMS**.

IMPROVE ENTRY SEQUENCE AND CIRCULATION FOR MODERN EVENT USE.



3. ADDITIONS & ALTERATIONS

SECOND FLOOR ALTERATIONS:

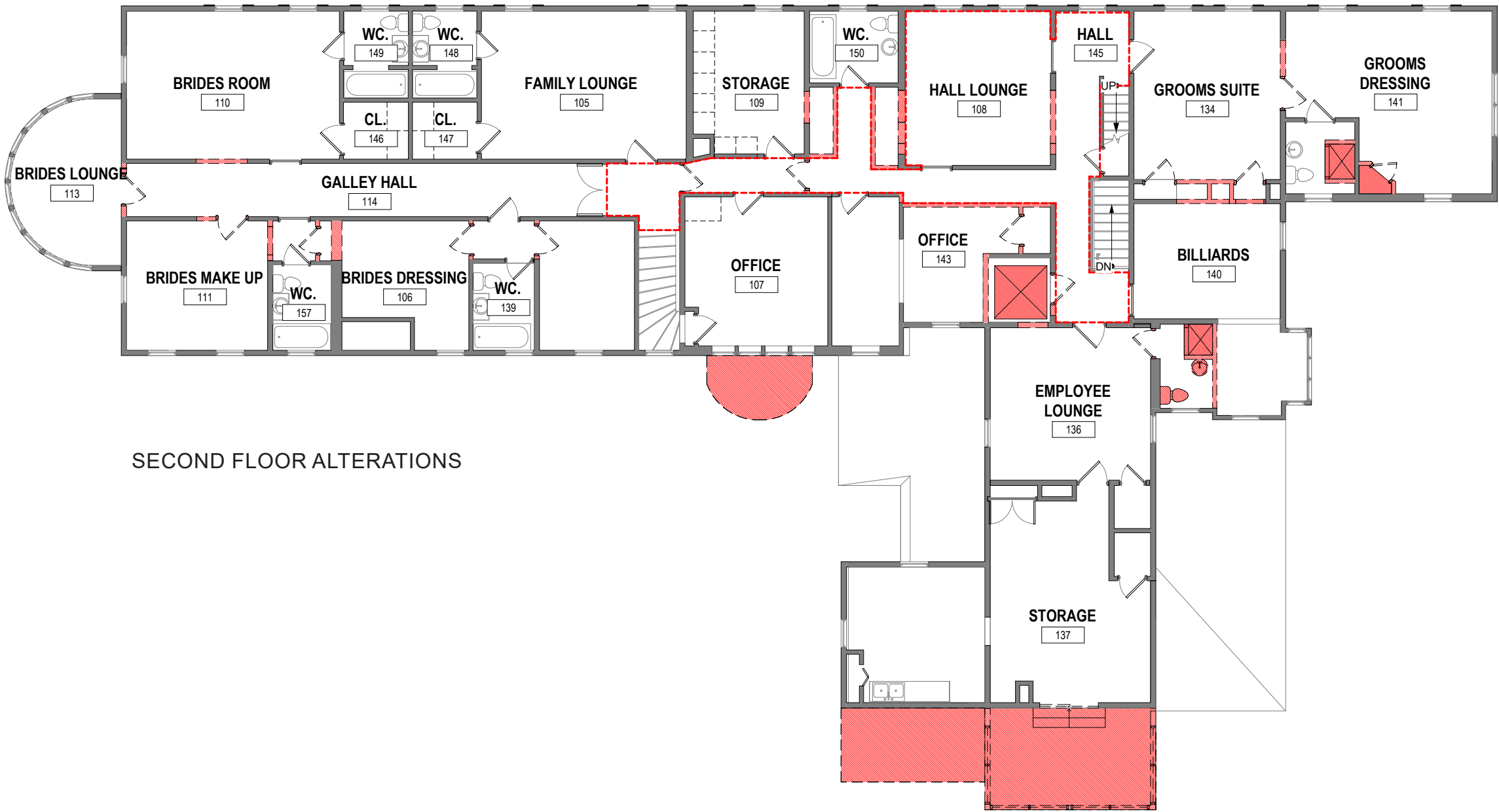
THE EXISTING SECOND FLOOR CORRIDOR IS NOT LINEAR, DUE TO THE CASS GILBERT EXPANSIONS, CREATING PORTIONS THAT **FAIL TO MEET ADA OR CODE REQUIREMENTS FOR WIDTH.**

SELECTIVELY REMOVE PORTIONS OF INTERIOR PARTITIONS, CLOSETS, AND BATHROOMS TO **IMPROVE FUNCTIONALITY AND CIRCULATION.**

PORTION OF INTERIOR CORRIDOR THAT IS **TOO NARROW TO ALLOW FOR ACCESS** WILL BE ALTERED.

NEW CIRCULATION PATH WILL BE CREATED TO **ACCOMMODATE AN ADA COMPLIANT PATH** THROUGHOUT THE BUILDING.

INSTALLATION OF A LULA (LIMITED USE/LIMITED APPLICATION) ELEVATOR **WITHIN THE EXISTING ELEVATOR SHAFT** TO PROVIDE VERTICAL ACCESS BETWEEN THE MAIN PUBLIC FLOORS.



SECOND FLOOR ALTERATIONS



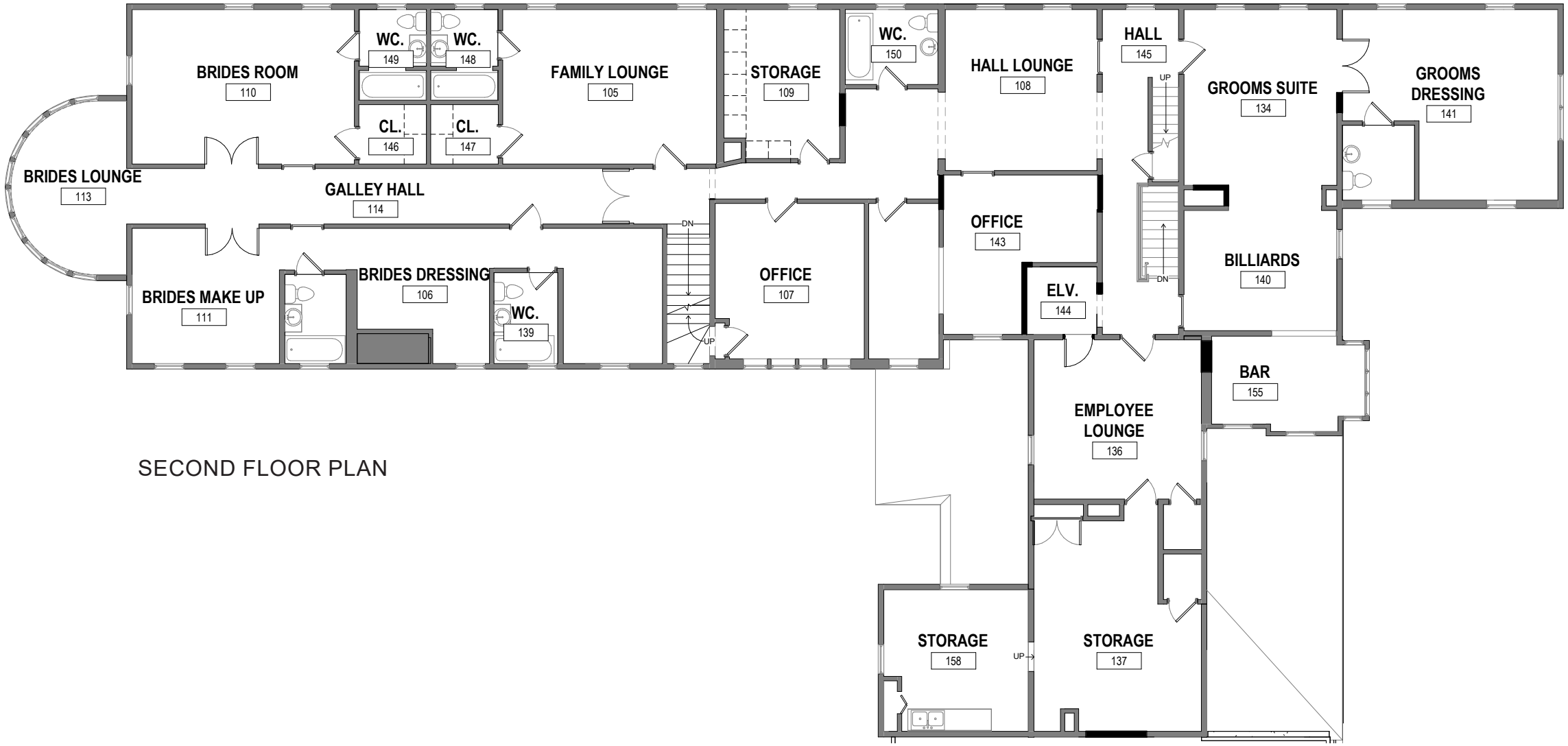
3. ADDITIONS & ALTERATIONS

SECOND FLOOR PLAN:

CONVERT THE SECOND FLOOR INTO TWO HOSPITALITY SUITES FOR BRIDAL AND GROOM PREPARATION, EACH WITH PRIVATE RESTROOMS AND LOUNGE AREAS.

BRIDE’S SUITE: FRENCH AND ART NOUVEAU-INSPIRED DESIGN, REFERENCING 1917 DIGNITARY FURNISHINGS.

GROOM’S SUITE: CLUBHOUSE AESTHETIC WITH AGED LEATHER, RICH FINISHES, AND A CONNECTED BAR LOUNGE.



SECOND FLOOR PLAN

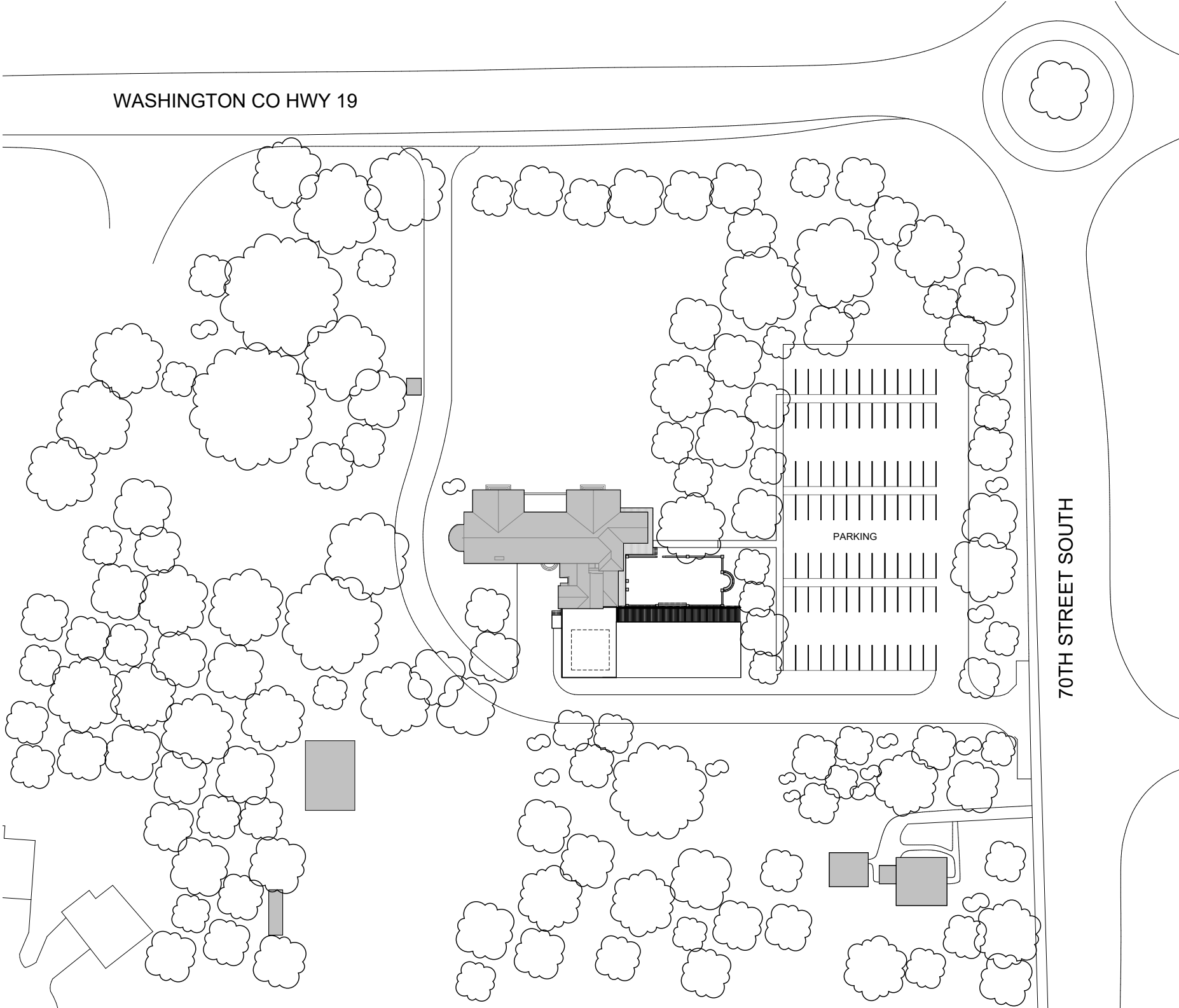
3. ADDITIONS & ALTERATIONS

SITE PLAN:

INSTALL A WEST-SIDE SERVICE DRIVE AND DROP-OFF LOOP NEAR THE NEW KITCHEN ADDITION TO SUPPORT BACK-OF-HOUSE LOGISTICS AND **MAINTAIN THE FORMAL APPROACH FROM THE EAST.**

INSTALL **ADA-COMPLIANT WALKWAYS** TO CONNECT THE EAST AND SOUTH PORCHES TO KEY SITE AREAS. **PATHWAYS WILL BE SENSITIVELY INTEGRATED** INTO THE LANDSCAPE TO AVOID DISRUPTION OF MATURE TREES OR TOPOGRAPHY.

ALL ACCESSIBILITY IMPROVEMENTS HAVE BEEN **DESIGNED TO COMPLY WITH ADA STANDARDS FOR ACCESSIBLE DESIGN** AND ARE CONSISTENT WITH THE SECRETARY OF THE INTERIOR’S STANDARDS FOR REHABILITATION, ENSURING THAT **MODIFICATIONS ARE SENSITIVE AND REVERSIBLE**, AND DO NOT COMPROMISE THE HISTORIC CHARACTER OF THE PROPERTY.



OVERALL SITE PLAN

CEDARHURST MANSION REHABILITATION

PROTECTING THE HISTORIC SITE

JUNE 2025

A CAUTIONARY TALE:

A 2022 DEVELOPMENT PLAN **WIPES OUT** SURROUNDING SITE BUILDINGS THAT ARE IN GOOD REPAIR, **DESTROYS** A MAJORITY OF THE TREES ON THE SITE, **ELIMINATES** THE HISTORIC APPROACH, AND BLANKETS THE SITE WITH **IMPERVIOUS ASPHALT**.

THE REHABILITATION PROPOSED BY **BELLAGALA AND AWH ARCHITECTS** WILL CONVERT CEDARHURST MANSION INTO A YEAR-ROUND LUXURY WEDDING AND EVENT VENUE THAT **WILL PRESERVE THE MANSION'S ARCHITECTURAL INTEGRITY AND THE SITE'S UNIQUE HISTORY AS A COUNTRY RETREAT**, WHILE UPGRADING BUILDING SYSTEMS TO SUPPORT MODERN HOSPITALITY OPERATIONS.



2022 REDEVELOPMENT PROPOSAL



NEW HISTORY

CORDENIO SEVERANCE HOUSE [CEDARHURST] HISTORIC SITE DESIGN GUIDELINES

6940 Keats Avenue South, Cottage Grove

September 2022



Historical Site Design Guidelines
Severance, Cordenio House [Cedarhurst]
6940 Keats Avenue South
Cottage Grove, Minnesota 55016

Prepared for:
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EXECUTIVE SUMMARY

The Cordenio Severance House (commonly known as Cedarhurst) is a locally-designated historic site located in the City of Cottage Grove that includes fourteen resources: two buildings, nine structures, and three types of objects. The two buildings and six of the structures are “contributing” to the historic significance of the site; the rest of the resources are “non-contributing”. The site is also listed in the National Register of Historic Places (NRHP).



Figure 1: View of the Cordenio Severance House and Valet Shelter, looking west.

The document is intended to provide design guidelines for exterior alterations proposed to the Cedarhurst property, including site and landscaping, existing resources, and new construction, with respect to the Cottage Grove preservation ordinance. The guidelines are based on the Secretary of the Interior’s *Standards for the Treatment of Historic Properties* and associated guidelines developed by the National Park Service (NPS), as well as best practices for heritage preservation. These guidelines would also be applicable to projects involving historic preservation-specific funding sources, such as historic tax credits. These guidelines do not address any other city ordinances or building codes, economic requirements or impacts, or financial viability.

Major findings of this document include:

1. Site and Landscaping

- The organic site arrangement with residential-scale buildings and exterior open spaces should be maintained.
- Existing circulation can be maintained and new circulation can be added to the site. New parking spaces could be created on the north and west sides of the site.
- New landscaping should generally consist of a mix of lawn areas, trees, and small plantings. New hardscape elements should be limited to the minimum required.

2. Alterations to Existing Resources

- Keeping and reusing contributing (historic) resources is recommended. Demolition of these resources should be avoided if possible.
- Key historic features of contributing resources such as porticos, porches, wood siding, stucco, gable roofs, and doors and windows should be prioritized for preservation. Non-historic features of contributing resources can remain or be replaced.
- Non-contributing (non-historic) resources can be retained, altered, or removed.

3. New Construction

- Any new construction should be sensitively located and be of a size, scale, and design that is compatible with contributing resources and the historic site as a whole. New construction should appear new and be differentiated from contributing resources, to avoid creating a false sense of history.
- Any new construction should avoid impact to and removal of historic materials and features, and be able to be removed in the future without damaging contributing resources.

For clarity, the term “Cedarhurst” is used in this report to describe the entire site, while “Severance House” refers to the house itself.

1.0 INTRODUCTION

1.1 Purpose and Scope

Cedarhurst is locally designated as a historic site in the City of Cottage Grove. As such, exterior alterations to the property are subject to a design review by the Advisory Committee on Historic Preservation (ACHP) with respect to the Secretary of the Interior’s *Standards for the Treatment of Historic Properties* (the “Standards”). These historic site design guidelines have been developed as a tool for the ACHP, city staff, property owners, and design professionals to use in designing and evaluating exterior alterations to the Cedarhurst property. The guidelines explain and interpret the Standards as they apply to this property, providing guidance for evaluating both changes to the existing site and resources *and* the design of new construction. The site is also listed in the National Register of Historic Places (NRHP). If an owner or sponsor were to use historic preservation-specific funding sources, like historic tax credits or historic preservation grants, these guidelines would also be applicable.

These guidelines are divided into the four sections outlined below. For each of the fourteen resources located on the site, there is an individual resource summary that describes historic features, non-historic features, and recommendations for compatible alterations specific to that resource (see Section 3.0). Detailed guidelines for the entire property that address site and landscaping, alterations, and new construction are provided in Sections 2.0, 4.0, and 5.0, respectively.

- 2.0 Site and Landscaping
- 3.0 Resource Summaries
- 4.0 Alterations to Existing Resources
- 5.0 New Construction

Where these guidelines do not provide specific guidance, the Standards should be followed. In addition to these design guidelines, other resources exist to provide guidance in evaluating the appropriateness of alterations to the Cedarhurst property. Relevant Preservation Briefs and ITS Bulletins (tech notes) by the National Park Service, referenced in **Appendix C**, provide detailed guidance on the treatment of historic features and materials to meet the Standards. Additionally, the “Cordenio Severance House Historical Evaluation”¹ provides information on the historic context of the property. These historic design guidelines should also be considered in conjunction with municipal ordinances and building codes, the Cottage Grove 2040 Comprehensive Plan, and the “Architectural Design Guidelines for the Cedarhurst Mansion Site”², and may also need to be balanced with financial constraints and economic factors.

¹ Lauren Anderson, “Cordenio Severance House Historical Evaluation,” prepared by New History for the City of Cottage Grove, April 2022.

² “Architectural Design Guidelines for the Cedarhurst Mansion Site,” prepared by ESG Architecture and Design for the City of Cottage Grove, 2022.

1.2 Site Overview and Historic Significance

The Cedarhurst property at 6940 Keats Avenue South is located in the northeast quadrant of the City of Cottage Grove. The current site includes fourteen resources – buildings, structures, and objects – located on two landscaped parcels (a total of approximately 13 acres) bordered by former Military Road to the northeast, a single-family housing development to the north and west, Keats Avenue South to the east, and 70th Street South to the south. Vehicular access is provided at Keats Avenue South and 70th Street South. The Cordenio Severance House and associated resources are located near the center of the site (see Fig. 2).

From 1889 until 1925, Cedarhurst was occupied by notable St. Paul attorney Cordenio Severance and his wife Mary Severance. The property is historically significant for its association with Cordenio Severance, who obtained national and international recognition for his work in the legal profession. The Severances utilized Cedarhurst as a country estate – a part-time residence for summer vacations, entertaining guests, and pursuing their individual interests and hobbies. From 1925 until the present, the property has had a succession of private owners; most recently, it has been utilized as an event venue. Today, Cedarhurst is both locally designated by the City of Cottage Grove as a historic site and listed in the National Register of Historic Places (NRHP). See the “Cordenio Severance House Historical Evaluation”³ and **Appendix A** for more information on the social history and physical development of Cedarhurst.

The period of significance for the site is 1889 until 1925, reflecting the time period during which the Severances owned and occupied the property. The various resources on the site can be classified as “contributing” (historic) or “noncontributing” (non-historic). At Cedarhurst, contributing resources are defined as resources that 1) were constructed by 1925 (the end of the period of significance) as part of the Severance estate and 2) retain historic integrity (the physical materials and features present during the period of significance). Resources constructed before 1925 that do not retain historic integrity and resources constructed after 1925 should be considered non-contributing. The property’s contributing and non-contributing resources are outlined in Figures 2 and 3 below.

³ Lauren Anderson, “Cordenio Severance House Historical Evaluation,” prepared by New History for the City of Cottage Grove, April 2022.

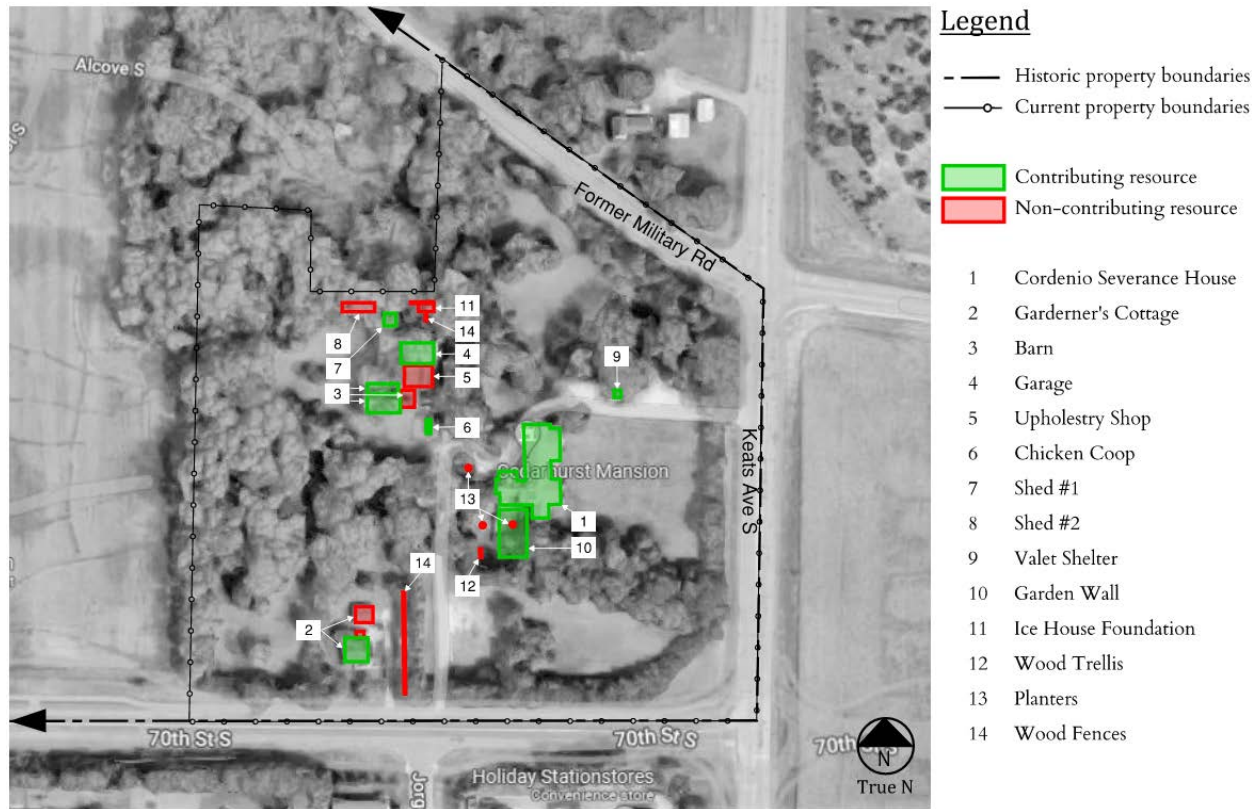


Figure 2: Site plan of Cedarhurst showing contributing and non-contributing resources (Google Maps, 07/29/2022).

ID #	Name	Type	Date	Status
1	Cordenio Severance House	Building	c. 1867-1917	Contributing
2	Gardener's Cottage	Building	Early 1900s	Contributing
	with north addition	Building	Post-1945	Non-contributing
3	Barn	Structure	Early 1900s	Contributing
	with north shed	Structure	Likely pre-1925	Contributing
	with east shed	Structure	Likely post-1925	Non-contributing
4	Garage	Structure	1911	Contributing
5	Upholstery Shop	Structure	Likely post-1925	Non-contributing
6	Chicken Coop	Structure	Likely pre-1925	Contributing
7	Shed #1	Structure	Likely pre-1925	Contributing
8	Shed #2	Structure	Likely post-1925	Non-contributing
9	Valet Shelter	Structure	Pre-1917	Contributing
10	Garden Wall	Structure	Pre-1917	Contributing
11	Ice House Foundation	Structure	c. 1860	Non-contributing
12	Wood Trellis	Object	Likely post-1925	Non-contributing
13	Planters	Object	Likely post-1925	Non-contributing
14	Wood Fences	Object	Likely post-1925	Non-contributing

Figure 3: Number, name, type, construction date, and status of Cedarhurst resources.

1.3 Secretary of the Interior's Standards for Rehabilitation

What are the Standards?

Exterior alterations to Cedarhurst are subject to a design review by the Advisory Committee on Historic Preservation (ACHP) with respect to the Secretary of the Interior's *Standards for the Treatment of Historic Properties* (the "Standards"). According to the National Park Service (NPS), the Standards "are a series of concepts about maintaining, repairing, and replacing historic materials, as well as designing new additions or making alterations."⁴ They are applicable to historic properties of all types, including buildings, landscape features, and sites. The Standards allow for four treatment options: Reconstruction, Preservation, Restoration, and Rehabilitation. The Standards for Rehabilitation are applied to historic properties being adapted for current uses. The Rehabilitation Standards provide guidance for altering properties to meet current uses in a way that retains their historic integrity. Along with the Standards, the National Park Service has also developed the Secretary of the Interior's Guidelines for the Rehabilitation of Historic Buildings ("the Guidelines"). The Guidelines provide general design and technical recommendations for applying the Standards. Taken together, the Standards and Guidelines provide an outline for design changes at historic properties.

The ten Standards for Rehabilitation are as follows:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means

⁴ National Park Service, Technical Preservation Services, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings*, <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>, accessed August 12, 2022.

possible. Treatments that cause damage to historic materials will not be used.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.⁵

How are the Standards applied?

According to the National Park Service, “the Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.” NPS defines rehabilitation as “the process of returning a building or buildings to a state of utility, through repair or alteration, which makes possible an efficient use while preserving those portions and features of the building and its site and environment which are significant to its historic, architectural, and cultural values.”⁶ According to NPS,

A project meets the Standards when the overall effect of all work is consistent with the property’s historic character...Each property exhibits a unique set of conditions; thus, the evaluation of any single aspect of the proposed work can only be made in the context of those conditions and all the other work that constitutes the project. In some cases, a single aspect of a project may not be consistent with recommendations found in the Guidelines, yet its impact on the character of the property as a whole is small enough that the overall project meets the Standards. In other cases, similar work, in combination with numerous other treatments not recommended by the Guidelines, can contribute to a project not meeting the Standards.

The more important a feature or space is to the historic character of a property, the less it can be changed without damaging the character as a whole. On the other hand, aspects less critical to the historic character may be altered more substantially with less effect on the character of the building as a whole. However, even when the features being changed are

⁵ National Park Service, Technical Preservation Services, *The Secretary of the Interior's Standards for Rehabilitation*, <https://www.nps.gov/tps/standards/rehabilitation/rehab/stand.htm>, accessed July 22, 2022.

⁶ National Park Service, Technical Preservation Services, *Cumulative Effect and Historic Character*, <https://www.nps.gov/tps/standards/applying-rehabilitation/cumulative-effect.htm>, accessed 08/05/2022.

minor, changes that are too numerous or radical can in some instances alter the overall character of the building.

Similarly, features and spaces that have been so substantially changed outside the period of significance or are so severely deteriorated as no longer to convey historic character can be more readily altered than those aspects of a property that retain a high degree of integrity. Historic character, however, is not readily lost through deterioration, and most deteriorated historic features must be replaced to match when they are beyond repair.

Determination that a project meets the Standards is based on the cumulative effect of all the work in the context of the specific existing conditions.⁷

⁷ National Park Service, Technical Preservation Services, *Cumulative Effect and Historic Character*, <https://www.nps.gov/tps/standards/applying-rehabilitation/cumulative-effect.htm>, accessed 08/05/2022.

2.0 SITE AND LANDSCAPING

The following design guidelines pertaining to site and landscaping apply to the entire Cedarhurst site.

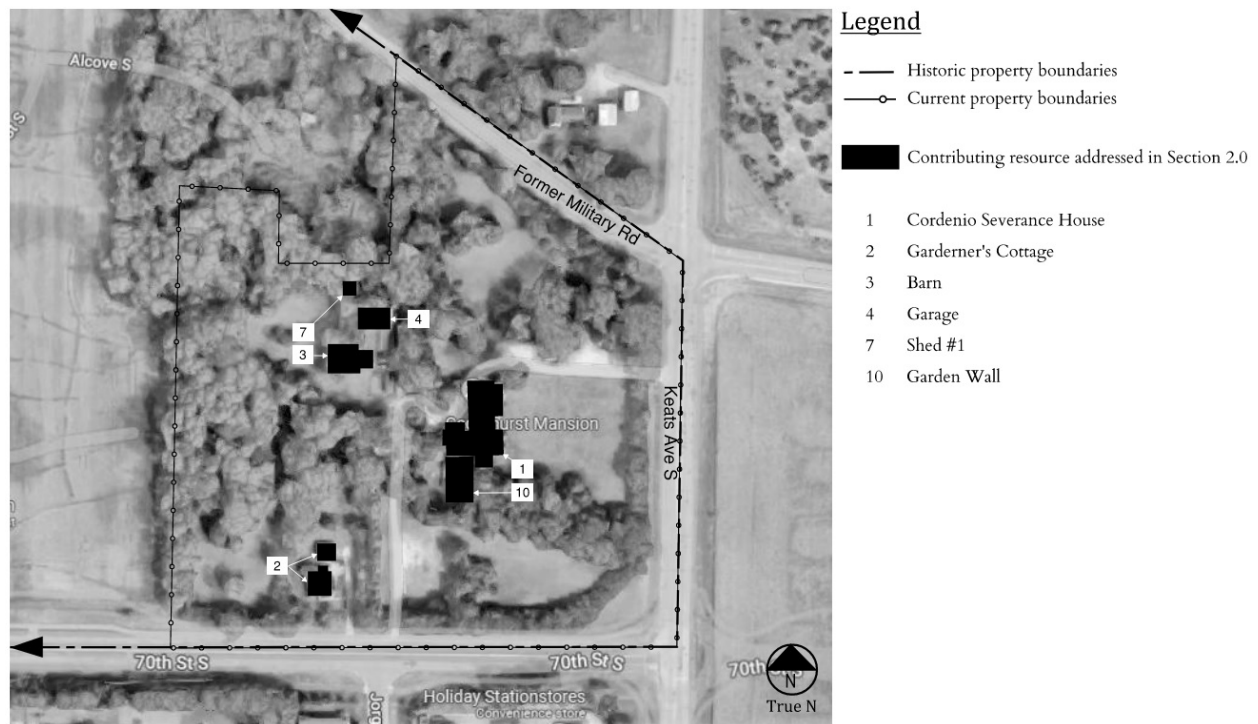


Figure 4: Site plan of Cedarhurst showing contributing resources addressed in Section 2.0 (Google Maps, 07/29/2022).

2.1 General

- 2.1.1. The organic site arrangement – such as its mostly open spaces with areas of grass lawn and various pedestrian routes through the site – is an essential feature that can be reused to highlight the history of the contributing buildings and structures.
- 2.1.2. New landscaping should be in harmony with the historic character of the site and should generally consist of a mixture of lawn areas, trees, and small plantings. New hardscape elements should be kept to a minimum. Formal plantings would be most appropriate in the area surrounding the Cordenio Severance House, including within the Garden Wall.
- 2.1.3. The generally flat grading should be retained, with major grade changes minimized and only used as necessary to meet local municipal codes and requirements.
- 2.1.4. Grade changes should be avoided in front of the Cordenio Severance House towards Keats Avenue South and the Gardener's Cottage towards 70th Street South.

2.2 Circulation

- 2.2.1. The existing driveways on Keats Avenue South and 70th Street South are non-historic and can be reused or altered.
- 2.2.2. If driveways are altered, it is recommended to create primary site entrances on Keats Avenue South and/or 70th Street South. It would be acceptable to create an additional secondary site entrance on former Military Road. Access to contributing resources should be maintained.
- 2.2.3. Although not required, recreating driveways and walkways at known and likely historic locations can restore the historic site circulation. A reconfigured or new driveway could run closer to the east side of the Gardener's Cottage and extend north to former Military Road. New diagonal driveways or walkways could be created from the northeast and southeast corners of the Cordenio Severance House towards Keats Avenue South.
- 2.2.4. Existing parking spaces can remain. The gravel can be retained or replaced.
- 2.2.5. The site can accommodate new parking spaces to the north of the Cordenio Severance House and to the west of the Garage, Shed #1, Barn, and Gardener's Cottage. Parking should be avoided on the east side of the Cordenio Severance House. Parking can be considered to the south of the House and Garden Wall, provided that the setback is sufficient.

2.3 Landscape

- 2.3.1. Open lawn areas on the east side of the Cordenio Severance House should be retained and remain open spaces to the greatest extent possible. Open lawn areas to the west of the Gardener's Cottage, Garage, Shed #1, and Barn and to the north of the House can remain open or tolerate greater landscaping changes.
- 2.3.2. Mature trees along the perimeter of the site should be retained. Mature trees within the site should be retained to the extent possible.
- 2.3.3. It would be appropriate to plant new trees along the east side of the Cordenio Severance House and along existing and new driveways or walkways.
- 2.3.4. Hedges along the perimeter of the site should be retained. It is acceptable to alter hedges to accommodate new driveways or walkways.

3.0 RESOURCE SUMMARIES

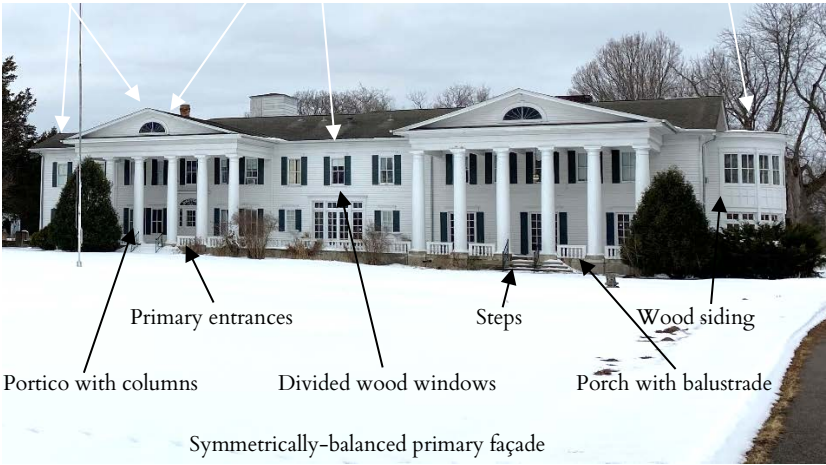
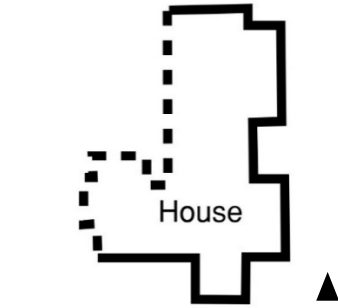
3.1 Historic Features and Materials

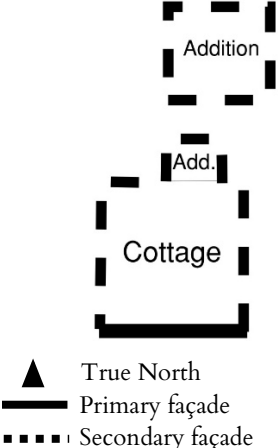
In order to apply the Standards to a specific property, it is necessary to understand which elements of the property are “historic” and “character-defining.” All features, materials, and spaces installed or altered *during* a property’s period of significance should be considered “historic.” “Character-defining” elements – hereafter “key historic features” – are those historic features and materials that express the historic significance of a resource and contribute to its historic character (see Figs. 2-3). According to the National Park Service (NPS), character-defining elements can include “the overall shape of the building, its materials, craftsmanship, decorative details ..., as well as the various aspects of its site and environment.”

At Cedarhurst, this means that features and materials of contributing resources constructed or altered between 1889 and 1925 (the period of significance) are historic and should be retained and repaired. Non-contributing resources, as well as any alterations made to contributing resources after 1925, are non-historic and can tolerate greater changes.

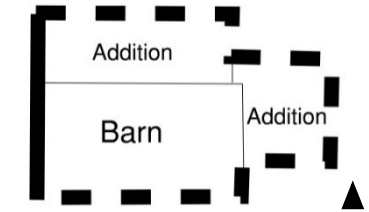
3.2 Individual Resource Summaries

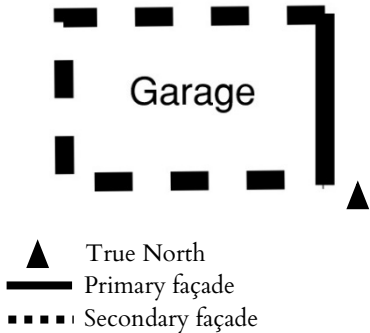
The following pages in this section provide specific information and recommendations for each of the fourteen resources located on the Cedarhurst site (see Figs. 2-3). For contributing resources, each summary provides a non-exhaustive overview of historic and non-historic features, with an emphasis on key historic features. The bottom of each summary provides recommendations for compatible alterations specific to that resource, addressing specific areas where changes can be considered or should be avoided in order to retain the resource’s historic character. For non-contributing resources, an overview of the main non-historic features is provided along with recommendations on compatible changes for the site.

Key Historic Features		Orientation
		  True North  Primary façade  Secondary façade See Appendix B for more information on the construction history of the house
Historic Features		Non-Historic Features
• L-shaped building • Semi-circular bay • Gable roofs and dormers with overhanging eaves and cornice returns • Porticos with Tuscan columns • Concrete and brick porches with stone balustrades • Wood board ceilings with exposed beams • Concrete steps • Painted wood siding and trim • Exposed concrete foundation and brick chimneys	• Primary and secondary entrances • Location and size of punched rectangular and arched window openings • Wood doors and trim with decorative sidelights, transoms, and fanlights • Wood windows, trim, storms, and shutters • Metal canopy at west façade	• Metal lap siding • Most metal gutters and downspouts • Metal and vinyl windows • Metal window and door trim • Wood ramp and railing (north façade) • Shed-roofed stair enclosure (north façade; door was relocated and is historic) • Wood deck at west porch • Metal columns and wood beam supporting west sunroom • Carpet flooring at south porch
Change can be considered at:		Change should be avoided at:
• Secondary façades • West side of south façade • Non-historic features (all) • Missing historic features (all) • Existing historic features (keep change to a minimum) • Secondary entrances • Accessibility improvements (secondary façades are preferred) • Modified/new door and window openings at secondary façades • Code improvements at steps, balustrades, and railings • Small addition to the west of the west wing may be considered		• Primary façades • Existing key historic features (all) • Roof shapes • Entrances at primary façades • Door and window openings at primary façades • Open volume and ceiling heights at porticos/porches • Decorative elements • Painted wood siding should remain painted • Unpainted brick and concrete should not be painted • Rooftop mechanical equipment, decks, or additions should be avoided • New additions or balconies at primary façades should be avoided

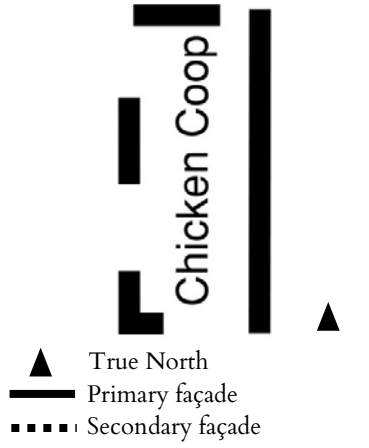
Key Historic Features		Orientation
Gable roof Rectangular window openings  Porch with columns Divided wood windows Projecting window		 ▲ True North — Primary façade - - - Secondary façade
Historic Features		Non-Historic Features
• Rectangular building shape • Projecting window • Gable roof and dormer with overhanging eaves • Porch with columns • Exposed brick chimney		• Non-enclosed porch configuration • North addition • Garage
Change can be considered at:		Change should be avoided at:
• Secondary façades • North addition and garage can remain or be removed • Existing historic features (keep change to a minimum) • Secondary entrances • Accessibility improvements (secondary façades are preferred) • Modified/new door and window openings at secondary façades • Code improvements at steps and railings • Porch can be enclosed to match or be similar to the historic photo if desired • Small addition to the north or west may be considered		• Primary façade • Existing key historic features (all) • Roof shape • Primary entrance • Open plan at porch • Door and window openings at primary façades • Unpainted brick should not be painted • Rooftop mechanical equipment or additions should be avoided

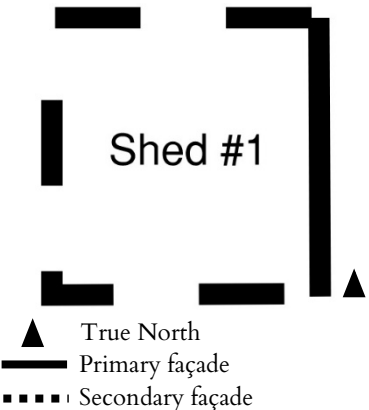
⁸ Assessment based on restricted site access as the house is currently occupied as a private residence.

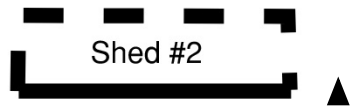
Key Historic Features		Orientation
Track for pulley Gambrel roof Rectangular window openings Divided wood windows  Shed roof Wood siding Primary entrance		 ▲ True North — Primary façade - - - Secondary façade
Historic Features		Non-Historic Features
• Rectangular-shaped building • Gambrel roof with overhanging eaves, track for pulley, and vent • Shed-roofed north addition • Painted wood siding and trim		• Glass block windows • East addition
Change can be considered at:		Change should be avoided at:
• Barn stabilization • Roof reconstruction • Secondary façades • East addition can remain or be removed • Existing historic features (keep change to a minimum) • Secondary entrance(s) • Accessibility improvements (secondary façades are preferred) • Modified/new door and window openings at secondary façades • Small addition to the north, east, or south may be considered		• Primary façade • Existing key historic features (all) • Roof shapes • Primary entrance • Door and window openings at primary façades • Painted wood siding should remain painted • New balconies should be avoided • Rooftop additions should be avoided

Key Historic Features		Orientation
 Stucco finish Flat and sloped parapets Rectangular window openings Divided wood windows Wood overhang Primary entrance		 ▲ True North — Primary façade - - - Secondary façade
Historic Features		Non-Historic Features
• Rectangular-shaped building • Flat and sloped roof (not extant) and parapets • Painted stucco finish • Wood overhang • Exposed brick chimney • Primary and secondary entrances • Punched rectangular window openings • Wood windows		• Wood-framed gable roof • Plywood infill at secondary west entrance
Change can be considered at:		Change should be avoided at:
• Secondary façades • Gable roof can remain or be removed to restore historic roof configuration • Non-historic features (all) • Existing historic features (keep change to a minimum) • Missing historic features (all) • Secondary entrance • Accessibility improvements (secondary façades are preferred) • Modified/new door and window openings at secondary façades • Mechanical equipment or deck at the west end of the flat roof can be considered (if gable roof is removed) • Small addition to the west or south may be considered		• Primary façade • Existing key historic features (all) • Flat and sloped parapets • Primary entrance • Door and window openings at primary façades • Painted stucco should remain painted • Unpainted brick should not be painted

Orientation	
	
	Non-Historic Features (all)
	• Rectangular building • Gable roof • Wood siding • Wood windows with storms • Wood doors with half-light
Change can be considered at:	Change should be avoided at:
• The Upholstery Shop can remain as is, be repaired, be altered, or demolished • Alterations and new construction should be compatible with the overall character of the historic site • If demolished to make room for new construction, new construction should be further set back from the primary façade of the Garage towards the west and to the north of the Barn.	• None

Key Historic Features		Orientation
Gable roof Rectangular window openings Wood windows and doors  Wood siding		 True North Primary façade Secondary façade
Historic Features		Non-Historic Features
• Rectangular-shaped structure • Gable roof • Painted wood siding • Primary entrances		• Metal framing for structural support • Light fixtures
Change can be considered at:		Change should be avoided at:
• Coop stabilization/reconstruction • Secondary façades • Existing historic features (keep change to a minimum) • Accessibility improvements • Modified window openings at secondary façades		• Primary façade • Existing key historic features (all) • Roof shape • Primary entrances at primary façade • Painted wood siding should remain painted • Rooftop mechanical equipment should be avoided

Key Historic Features		Orientation
 Gable roof Rectangular window openings Divided wood windows Wood doors		 Shed #1 ▲ True North — Primary façade ... Secondary façade
Historic Features		Non-Historic Features
- Rectangular-shaped structure - Gable roof with vents - Primary entrance - Punched rectangular window openings - Wood doors with trim - Wood windows and trim		- Brick-looking metal sheet siding (façades and doors) - Corrugated metal roofing
Change can be considered at:		Change should be avoided at:
- Shed #1 stabilization - Secondary façades - Non-historic features (all) - Existing historic features (keep change to a minimum) - Missing historic features (all) - Metal siding can be removed to re-expose existing or replace missing wood siding to match - Accessibility improvements (secondary façades are preferred) - Modified window openings at secondary façades - New construction can be located to the west		- Primary façade - Existing key historic features (all) - Roof shape - Primary entrance - Door and window openings at primary façade - Rooftop mechanical equipment should be avoided

Orientation	
	 Shed #2 ▲ True North — Primary façade - - - - Secondary façade
	Non-Historic Features (all) • Rectangular building • Gable roof • Wood siding • Wood doors with half-light • Concrete slab
Change can be considered at:	Change should be avoided at:
• Shed #2 can remain as is, be repaired, be altered, or demolished • Alterations and new construction should be compatible with the overall character of the historic site • If demolished to make room for new construction, new construction should be further set back from Shed #1, towards the west and north.	• None

Key Historic Features		Orientation
Square plan Hipped roof with overhanging eaves Wood siding  Wood windows Wood door		The Valet Shelter is located on the northeast side of the Cordenio Severance House (see Fig. 2). This structure was formerly a cupola on the roof of the Cordenio Severance House.
Historic Features		Non-Historic Features
- Rectangular-shaped structure - Hipped roof with overhanging eaves		Concrete slab
Change can be considered at:		Change should be avoided at:
- The Valet Shelter could be relocated if desired - Accessibility improvements		- Existing key historic features (all) - Altering or expanding the shape of the shelter should be avoided - Roof shape - Door and window openings - Painted wood siding should remain painted

Key Historic Features		Orientation
Partial-height concrete walls Straight and curved walls  Square posts		The Garden Wall is located on the southwest side of the Cordenio Severance House (see Fig. 2)
Historic Features		Non-Historic Features
• Straight and curved walls • Partial-height concrete walls with square posts		• Concrete slab
Change can be considered at:		Change should be avoided at:
• New balustrade matching or similar to the historic can be constructed if desired • New wood trellises matching or similar to the historic can be constructed at historic locations on the west and south sides if desired • Light fixtures can remain, be relocated, or be salvaged on site		• Existing key historic features (all) • Straight and curved wall shapes • Height of posts • Unpainted concrete should not be painted

Orientation	
	The Ice House Foundation is located on the north side of the Garage (see Fig. 2)
	Non-Historic Features (all) • Stone/concrete rubble foundation
Change can be considered at:	Change should be avoided at:
• The Ice House Foundation can remain as is, be repaired, be altered, or demolished • Alterations and new construction should be compatible with the overall character of the historic site • If demolished to make room for new construction, new construction should be set back from the primary façades of the Garage and Shed #1	• None

**Orientation**

The Wood Trellis is located to the west of the Garden Wall (see Fig. 2)

Non-Historic Features (all)

- Wood trellis

Change can be considered at:

- The Wood Trellis can remain as is, be repaired, be relocated, or be demolished

Change should be avoided at:

- None

Orientation	
	
Planters are located on the west side of the Cordenio Severance House and within/on the west side of the Garden Wall (see Fig. 2)	
Non-Historic Features (all)	
• Metal/concrete planters	
Change can be considered at:	Change should be avoided at:
• Planters can remain as is, be repaired, be relocated, or be demolished	• None

Orientation	
	Wood fences are located on the east side of the Gardener's Cottage and at the Ice House Foundation (see Fig. 2)
	Non-Historic Features (all)
	• Wood fences

Change can be considered at:	Change should be avoided at:
• Wood Fences can remain as is, be repaired, be relocated, or be demolished	• None

4.0 ALTERATIONS TO EXISTING RESOURCES

The following design guidelines pertaining to alterations to existing resources apply mostly to contributing buildings and structures (resources #1–#4, #6, #7, #9, #10). Section 4.1 provides general guidance for non-contributing resources that can tolerate greater changes (resources #5, #8, #11–#14).

4.1 General

- 4.1.1. Contributing resources should be maintained.
- 4.1.2. Non-contributing resources can be maintained or removed.
- 4.1.3. Historic features of contributing resources should be retained. In particular, key historic features should be prioritized for preservation (see Section 3.1).
- 4.1.4. Regular maintenance and repair are preferred over replacement of any historic features or materials.
- 4.1.5. Historic features that are beyond repair or missing should be replaced in kind to match the appearance, configuration, profiles, materials, and finish of the historic, if known. Replacement with substitute materials can be considered if the form and design of the substitute is compatible with the character of the contributing resource.
- 4.1.6. Non-historic features of contributing resources can remain as is, be repaired, be replaced, or be removed. If replaced, the replacement feature can (1) match the historic design, if known or (2) be a simpler version of the historic design, if known. If no evidence of the historic design exists, replacement features should be of a compatible design. If removed, any openings or damaged/missing historic materials at the façades of contributing resources should be patched matching the existing adjacent.
- 4.1.7. All features and materials of non-contributing resources are non-historic. These non-historic features can remain as is, be repaired, or be removed.

4.2 Setting and Shapes

- 4.2.1. The orientation, footprint, and setbacks of the contributing resources should be retained. Contributing resources should remain as distinct, free-standing resources.
- 4.2.2. The regular or irregular massing of contributing resources should be retained.

4.3 Wood

- 4.3.1. Historic wood siding and decorative trim should be preserved and retained to the greatest extent possible. Damaged wood should be repaired matching the existing. If replacement is required, the original profile should be replicated.
- 4.3.2. Painted wood siding can be repainted and should not be unfinished/exposed.

4.4 Stucco, Masonry, and Concrete

- 4.4.1. Historic stucco, masonry, and concrete should be preserved and retained to the greatest extent possible.
- 4.4.2. Deteriorated, loose, and damaged stucco, masonry, and concrete should be repaired following best practices for historic stucco, masonry, and concrete, including cleaning, repointing, patching, and repairing.
- 4.4.3. Replacement of existing masonry and concrete should only occur when masonry and concrete are damaged beyond repair or prevent the resource from being safe or weathertight. Replacement masonry and concrete should match the existing in size, color, texture, type, and profile.
- 4.4.4. Repointing should be done only where joints are deteriorated or missing. Repointing mortar should match the existing historic mortar in joint tooling, joint size, color, sand, and texture. The sand should match the sand in the historic mortar. The new mortar must have greater vapor permeability and be softer than the masonry units, and be as vapor permeable and as soft or softer than the historic mortar.
- 4.4.5. Cleaning and removal (environmental staining biological growth, graffiti, etc.) should be done using the gentlest means possible. Abrasive techniques should be avoided.
- 4.4.6. Previously unpainted masonry and concrete should not be painted.
- 4.4.7. Painted stucco can be repainted.

4.5 Porticos, Porches, and Entrances

- 4.5.1. The location and configuration of historic porticos, porches, and entrances should be retained. Historic materials should be retained and repaired matching the existing where damaged. Alterations should be avoided at the porticos of the Cordenio Severance House as these are key historic features.
- 4.5.2. Historic primary entrances should be retained and reused in their current locations at all façades. Historic secondary entrances should be retained and reused to the greatest extent possible. It is preferable to keep historic primary entrances functioning as primary entrances. Alternately, historic secondary entrances may be reused as primary entrances.
- 4.5.3. It is not recommended to substantially alter any historic primary entrance or secondary entrances at primary façades. Secondary entrances at secondary façades may be sensitively altered to meet project needs.
- 4.5.4. Non-historic entrances can be retained and repaired or removed and infilled to match the appearance of the adjacent façade.

- 4.5.5. New entrances should not be cut into the primary façades of contributing resources. New entrances should be minimal and limited to secondary facades to the greatest extent possible. When considering new entrance locations, conversion of existing window openings to door openings is preferred over creating new openings.
- 4.5.6. Modifications, such as adding new ramps or wheelchair lifts, might be necessary at the exterior to provide accessibility. When considering modifications for accessibility, interior locations for ramps and wheelchair lifts should also be considered, in order to find the location with the least impact to the resources' historic character.

4.6 Doors and Windows

- 4.6.1. Historic doors and windows should be retained and repaired along with their frames.
- 4.6.2. Replacement doors and windows will be considered if historic doors and windows cannot be repaired or if historic doors/windows have been previously removed.
- 4.6.3. Where historic doors or windows are missing, deteriorated beyond repair, or have infill materials, replacement doors/windows should match the historic configuration and materials as closely as possible based on photographic or other evidence. If no evidence of the historic design exists, replacement doors or windows should be of a compatible design.
- 4.6.4. Replacement doors and windows should be located in the original rough openings.
- 4.6.5. Replacement windows should replicate historic window operation to the extent possible.
- 4.6.6. Acceptable replacement door and window materials generally include wood or metal-clad wood for historic wood doors and windows.
- 4.6.7. True divided lights are recommended when replacing a divided light door or window. Where true divisions are not possible, applied muntins, with an interstitial spacer will be considered. Internal muntins, sandwiched between two layers of glass alone, are not allowed.
- 4.6.8. The installation of storefront systems is not compatible with the historic use of the contributing resources and should be avoided.
- 4.6.9. Where historic doors are not reused, they should remain in place and be fixed shut instead of being removed.
- 4.6.10. Non-historic door openings may be removed or modified. Replacement doors for non-historic openings may be a similar, but simpler version of the historic doors or a contemporary, but compatible and differentiated design may be proposed.
- 4.6.11. Doors and windows should not be blocked or obscured from the interior or exterior.

- 4.6.12. Doors and windows should have clear glass.
- 4.6.13. It is generally not appropriate to introduce additional window openings to contributing resources that have numerous historic openings, such as the Cordenio Severance House, the Gardener's Cottage, and the Garage. Creating additional openings at the primary façades of these buildings will not meet the Standards.
- 4.6.14. It may be permissible to create new openings on the less-visible, secondary facades of contributing resources: the west façade of the Cordenio Severance House, the north and west façades of the Gardener's Cottage, and the north and south façades of the Garage. New openings should be located back from the primary façades. The opening should be appropriately sized with similar proportions to existing entries. Windows in new openings should not create a false sense of history by replication of historic window details.
- 4.6.15. It is not recommended to create additional window openings at the Barn, Shed #1, or the Chicken Coop. Although not recommended, it might be acceptable to create a few appropriately-sized window openings at the north or east façades of the Barn, the north façade of Shed #1, or the north and south façades of the Chicken Coop.

4.7 Roofs

- 4.7.1. Historic roof forms, cornices, and overhanging eaves should be retained to maintain the visual character of contributing resources.
- 4.7.2. The profile of the historic cornices, overhanging eaves, and parapets should not be destroyed or changed through additions or modifications.
- 4.7.3. Historic cornices, overhanging eaves, parapets, and coping materials should be replaced only when necessary and should match the historic in design and materials.
- 4.7.4. Insulation could be added to the roofs to improve energy efficiency. At the low-sloped roof of the Garage, insulation may be installed on top of the roof deck and concealed below new roofing materials. At other contributing resources with gable or gambrel roofs, it may be feasible to provide insulation at the underside of the roof.
- 4.7.5. Any new roof drainage system should be designed and installed with the least amount of impact to contributing resources.
- 4.7.6. When repairing or replacing the roofing system, protect historic architectural roof features such as brick chimneys and dormer windows.

4.8 Canopies, Awnings, and Balconies

- 4.8.1. Retain and repair the historic metal canopy of the Cordenio Severance House according to best practices.

- 4.8.2. It is generally not recommended to provide new awnings or canopies in the absence of historic precedent.
- 4.8.3. Balconies are generally not appropriate for contributing buildings, as they were not present historically. The creation of a few small balconies at the secondary, west façade of the Cordenio Severance House can be considered.

4.9 Signage and Light Fixtures

- 4.9.1. Non-historic signage materials can remain or be replaced with new signage.
- 4.9.2. New signage may be created at new locations if desired. New signage should be compatible with the historic character and materials of the site. New signage should not create a false sense of history and should be distinguished as contemporary.
- 4.9.3. Internally-lit signs are generally not appropriate.
- 4.9.4. Historic exterior light fixtures should be retained.
- 4.9.5. Non-historic exterior light fixtures can remain or be removed.
- 4.9.6. New exterior light fixtures shall be compatible with, but differentiated from, the character of the contributing resources.
- 4.9.7. Location, size, and scale of new exterior light fixtures should be appropriate to the specific contributing resource on which fixtures are installed.
- 4.9.8. Lighting is generally appropriate over entrances, at signage, or between window openings.
- 4.9.9. Downlighting is preferred to uplighting.
- 4.9.10. Softened and subtle light quality is generally appropriate. Blinking or flashing lights should be avoided.

4.10 Mechanical Systems

- 4.10.1. It is generally acceptable to remove and replace existing building systems, particularly to meet current code requirements.
- 4.10.2. Mechanical penetrations should not be permitted in primary façades and should be avoided in secondary façades to the greatest extent possible. Mechanical penetrations through the roofs are preferred. Converting a window to a louvered opening on a secondary façade can be considered.
- 4.10.3. Mechanical equipment can be sensitively located on the ground near secondary façades. Mechanical equipment should not be installed in front of primary façades or obstruct historic porticos, porches, entrances, or windows.

- 4.10.4. Rooftop mechanical equipment is not appropriate at the Cordenio Severance House, Gardener's Cottage, Barn, Shed #1, and Chicken Coop, given the roof configuration and limited height of these resources.
- 4.10.5. Rooftop mechanical equipment could be considered at the rear, west side of the roof of the Garage if the non-historic wood-framed gable roof is removed to restore the historic flat/low-slope roof configuration. Any new mechanical units should be held back a minimum of fifteen feet (or one structural bay, whichever is greater) from the primary east façade and sensitively located to minimize the visual impact.

4.11 Demolition

- 4.11.1. Contributing resources should be maintained. Demolishing a contributing resource does not meet the Standards. When considering demolition of a contributing resource, the cumulative impact on the entire Cedarhurst property should be considered (see section 1.3 for more information).
- 4.11.2. If demolition of a contributing resource is considered, consult with a historic preservation consultant or other cultural resource management professional to ensure that any historic preservation regulatory requirements are met.
- 4.11.3. Non-historic additions (added to contributing resources after 1925) can be removed to restore the historic configuration, if desired (see Figs. 2-3). If the removal of the addition requires a new wall to close off the contributing resource, the new wall should match or be a simpler version of the historic design, if known.
- 4.11.4. Non-contributing resources can be removed, if desired.
- 4.11.5. Non-historic features and materials of contributing resources can be replaced with new features and materials matching or similar to the historic, if known (see Section 4.1 for more information).

5.0 NEW CONSTRUCTION

New construction should be designed to be compatible with existing contributing resources without competing with or detracting from the historic character of the site. The following design guidelines for new construction are intended to encourage design decisions that highlight and preserve the historic character of the site while allowing for design creativity, innovation, and flexibility.

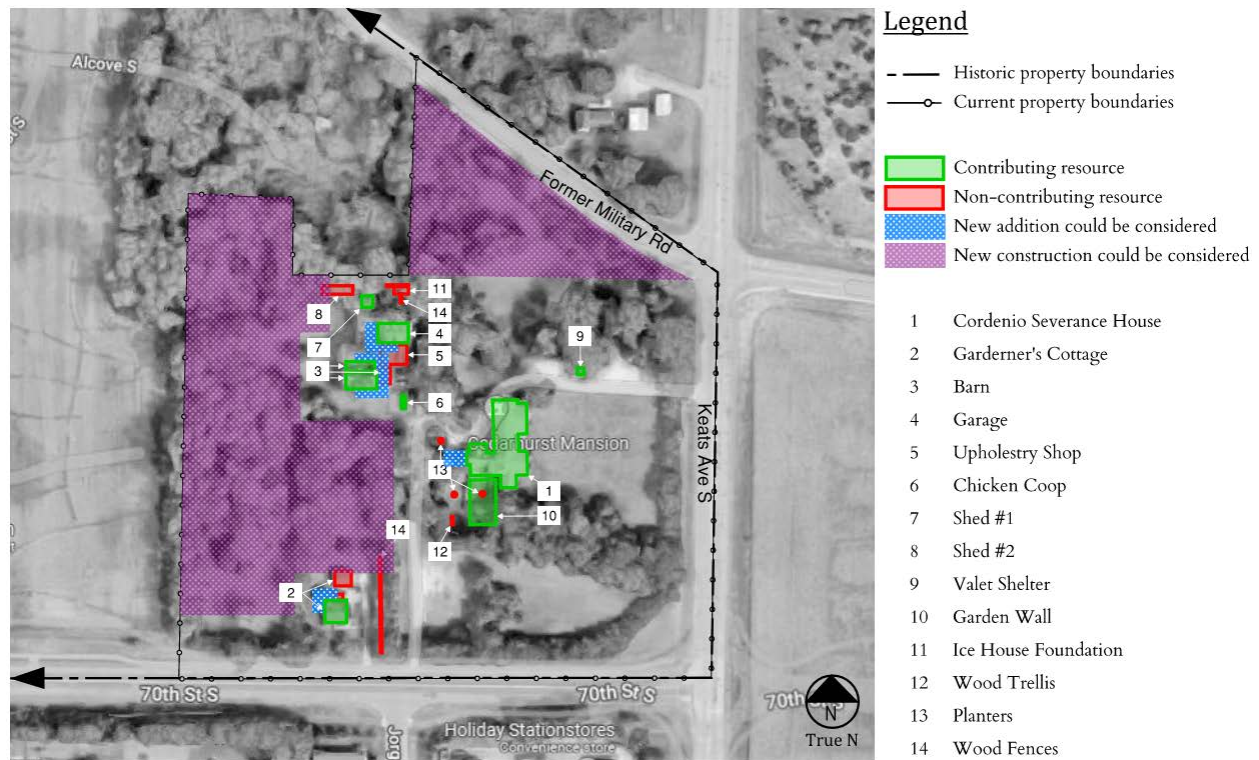


Figure 5: Site plan of Cedarhurst showing areas where new addition and construction could be considered (Google Maps, 07/29/2022).

5.1 General

- 5.1.1. It may be acceptable to add new construction to the site to satisfy new use and/or accessibility requirements. For any new construction/additions, consultation with city preservation staff is recommended early in the design process.
- 5.1.2. New construction should be sensitively located and have a size and scale that is appropriate for the contributing resources on the site. New construction should be subordinate to contributing resources – in other words, it should not compete in size, scale or design with the contributing resources. New construction that bears no relationship to the proportions and massing of a contributing resource will usually compromise its historic character. However, limitations on the size, scale, and design of new construction may be less critical the farther it is located from contributing resources.

- 5.1.3. New construction should preferably not be physically connected to contributing resources. If connected, new construction should minimize the impact on and removal of historic materials and features. For example, a simple, recessed, small-scale connecting link (“hyphen”) could be used to physically separate a new addition from a contributing resource.
- 5.1.4. New construction should not obstruct or remove key historic features of contributing resources such as porticos, porches, overhanging eaves, entrances, and windows.
- 5.1.5. New construction should be reversible, so that it could be removed in the future without impairing the integrity and form of contributing resources.

5.2 Location, Massing, and Design

- 5.2.1. The most appropriate locations for new construction are the western half of the site, to the west of the existing driveway, and/or the north side of the site, to the north of the driveway. New construction on the north side of the site should be preferably located near former Military Road and as far from the Cordenio Severance House as possible. Open spaces at the east and south sides of the Cordenio Severance House should remain open to the extent possible.
- 5.2.2. New construction should not obscure views of contributing resources, and especially their primary façades. New construction may obscure views of non-contributing resources.
- 5.2.3. New construction should not exceed the height of the Cordenio Severance House. New construction that features a higher roofline, that extends beyond the primary façades of the House or Gardener’s Cottage, or that has a significantly greater footprint than these buildings will generally not meet the Standards. Virtual renderings and visibility studies can help assess the visual impact of new construction on the site.
- 5.2.4. New construction should be simple in design and sympathetic to the contributing resources. The design should be differentiated from and compatible with the historic character of these resources. This means that new construction should take its design cues from, but not copy, the contributing resources. New construction that too closely resemble a contributing resource or is in extreme contrast to it would fall short of the balance between differentiation and compatibility.
- 5.2.5. New construction may include simplified architectural features that reflect, but do not duplicate, similar features on contributing resources. New construction should not attempt to replicate the design of contributing resources, so as not to create a false sense of history.
- 5.2.6. New construction should use building materials in the same color range as those of the contributing resources. The materials need not be the same as those on the contributing

resources, but they should be harmonious; they should not be so different that they stand out or distract from the contributing resources.

- 5.2.7. The size, rhythm, and alignment of new window and door openings should be based on those of contributing resources.

5.3 Rooftop Additions

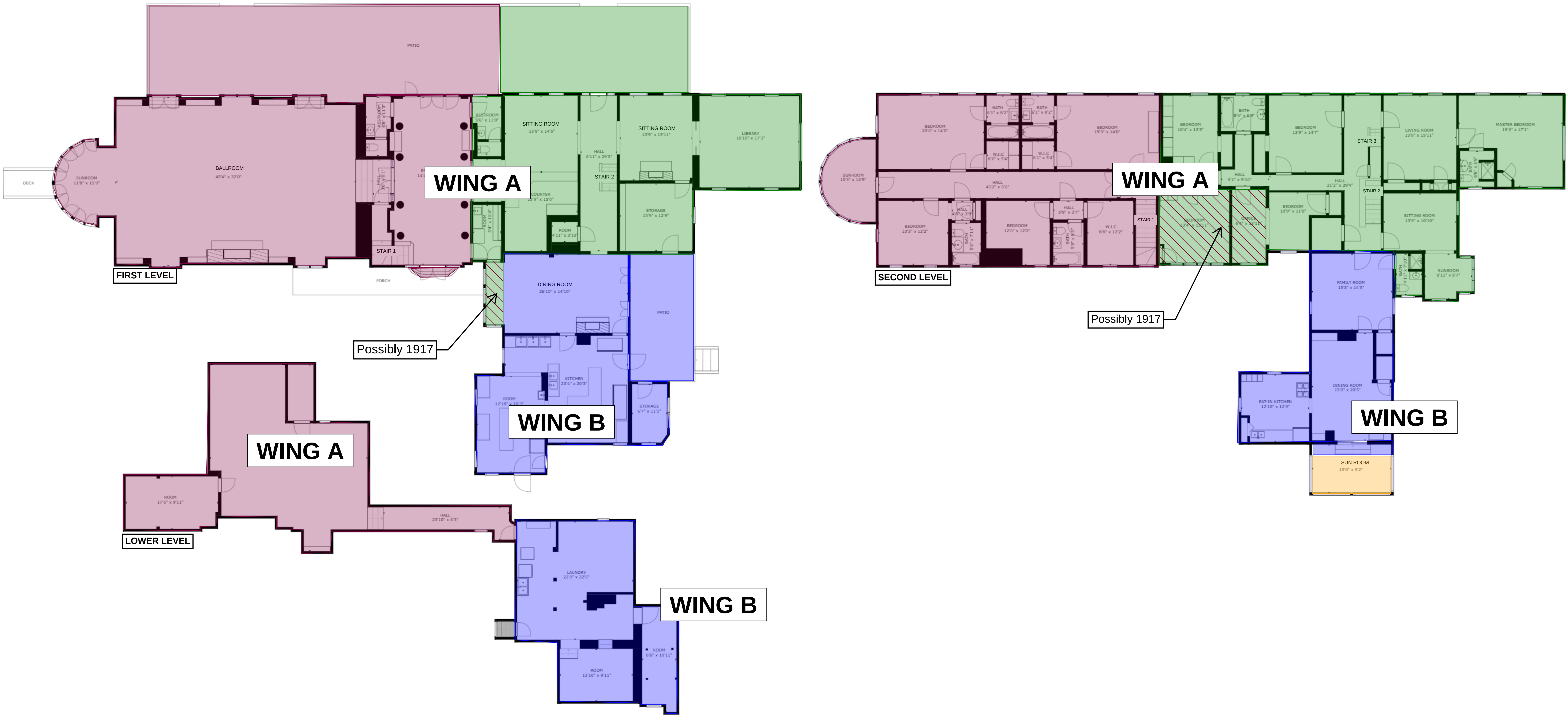
- 5.3.1. It may be acceptable to remove portions of the historic roof structure to accommodate new stairs and elevators. Openings should be minimal, are most appropriately located within structural bays (to minimize the amount of historic material to be removed), and should be located at least one structural bay back from the primary façades.
- 5.3.2. Vertical additions, rooftop additions, and roof decks are not appropriate at the Cordenio Severance House, Gardener's Cottage, or Barn, given the roof configuration and limited height of these buildings.
- 5.3.3. A roof deck could be considered at the rear, west side of the roof of the Garage if the non-historic wood-framed gable roof is removed to restore the historic flat/low-sloped roof configuration. Any new roof deck should be held back a minimum of fifteen feet (or one structural bay, whichever is greater) from the primary east façade, should be sensitively located to minimize the visual impact, and should not obstruct or alter the parapets.

Appendix A: Chronology of Development and Use

Date	Social History	Physical Development
c. 1867	Charles Fanning owns the property, which is occupied by Charles Fanning and his wife; Mr. and Mrs. Edwin Hart and daughter Mary (Charles's daughter, son-in-law, and granddaughter); and Fidelia Harriman and Mary Frances Harriman (Charles's daughter and granddaughter).	The original house is constructed.
By 1887	Fidelia Harriman inherits or acquires the property and 100 acres of surrounding land	
June 1889	Mary Harriman marries Cordenio Severance	
1889	Mary Severance inherits or acquire Cedarhurst, including the house and 100 acres of surrounding land	
c. early 1900s		The Gardener's Cottage and barn are constructed.
By 1901	The Severances own 158 acres of land surrounding Cedarhurst	
c. late 1800s/ early 1900s		Addition(s) are made to the original c. 1867 house.
1911		The garage is constructed.
By 1912	Severances own 547 acres of land surrounding Cedarhurst	
Between 1916 and 1932		At the west elevation of the Severance House, the second level is extended to create a sunroom. The rooftop cupola is removed.
1917		The final addition to the Severance House is constructed. The formal gardens at the south elevation are present by this date.
c. 1920s		An elevator is installed in the Severance House.
1925	Cordenio and Mary Severance die. Mary Severance's cousin Mary Zelch acquires Cedarhurst. It is unclear if Mary and her husband John ever reside at the property.	
1939	Minneapolis businessman Harvey Boomer and his wife Celia Boomer purchase Cedarhurst for use as a private	

Date	Social History	Physical Development
	residence.	
1946	Ownership of Cedarhurst passes to Celia Boomer.	
By 1950	Colonel Francis Markoe acquires Cedarhurst.	
Post-1959		A small stair enclosure is constructed at the north elevation of the Severance House.
1962	The Catholic Archdiocese of St. Paul acquires Cedarhurst, intending to utilize the site as an elderly living facility. This intended use was apparently never realized.	
Between 1973 and 1976	St. Paul florist Frederick Newman acquires Cedarhurst.	
1976	Cedarhurst is listed on the National Register of Historic Places.	
Post-1976		A wood deck is constructed at the west elevation of the Severance House.
1977	Jean and Ron Nienaber acquire Cedarhurst and utilize the property as event space and as the location of their catering and interior decorating businesses.	
1986		A ramp is installed at the north elevation of the Severance House.
1996		The ice house is razed.
c. 1997	Leyland Gohlike acquires Cedarhurst with the intent to utilize the site as a bed and breakfast, restaurant, and conference center.	
2001	Cedarhurst is acquired by the Thao family and utilized as event space for weddings, conferences, and other gatherings.	
2021	Three-Sixty Real Estate Solutions acquires Cedarhurst.	

Appendix B: Cordenio Severance House Development Diagram



- Presumed c. 1867 (Wing B)
- Presumed late 1800s/early 1900s (Wing A)
- Presumed 1917 (Wing A)
- 1916 - 1932
- Post-1925

Dates and extents of building additions/wings are approximate. Where possible, these diagrams are based on historic photographs. Some inferences have been made based on physical evidence.

Appendix C: Additional Resources

Preservation Briefs

<http://www.nps.gov/tps/how-to-preserve/briefs.htm>

- 1: Cleaning and Water-Repellent Treatments for Historic Masonry Buildings
- 2: Repointing Mortar Joints in Historic Masonry Buildings
- 3: Improving Energy Efficiency in Historic Buildings
- 4: Roofing for Historic Buildings
- 5: The Preservation of Historic Adobe Buildings
- 6: Dangers of Abrasive Cleaning to Historic Buildings
- 8: Aluminum and Vinyl Siding on Historic Buildings: The Appropriateness of Substitute Materials for Resurfacing Historic Wood Frame Buildings
- 9: The Repair of Historic Wooden Windows
- 10: Exterior Paint Problems on Historic Woodwork
- 14: New Exterior Additions to Historic Buildings: Preservation Concerns
- 15: Preservation of Historic Concrete
- 16: The Use of Substitute Materials on Historic Building Exteriors
- 17: Architectural Character—Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving their Character
- 20: The Preservation of Historic Barns
- 22: The Preservation and Repair of Historic Stucco
- 24: Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches
- 25: The Preservation of Historic Signs
- 31: Mothballing Historic Buildings
- 32: Making Historic Properties Accessible
- 35: Understanding Old Buildings: The Process of Architectural Investigation
- 36: Protecting Cultural Landscapes: Planning, Treatment and Management of Historic Landscapes
- 37: Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing
- 38: Removing Graffiti from Historic Masonry
- 39: Holding the Line: Controlling Unwanted Moisture in Historic Buildings
- 43: The Preparation and Use of Historic Structure Reports
- 44: The Use of Awnings on Historic Buildings: Repair, Replacement and New Design
- 45: Preserving Historic Wooden Porches
- 47: Maintaining the Exterior of Small and Medium Size Historic Buildings

ITS Bulletins

<http://www.nps.gov/tps/standards/applying-rehabilitation/standards-bulletins.htm>

- 3: New Additions: New Additions to Mid-Size Historic Buildings
- 4: Exterior Doors: Inappropriate Replacement Doors
- 5: Exposed Interior Brick: Removing Interior Plaster to Expose Brick
- 9: Porches: Inappropriate Porch Alterations
- 10: Stair Tower Additions: Exterior Stair/Elevator Tower Additions
- 14: Adding New Openings: New Openings in Secondary Elevations or Introducing New Windows in Blank Walls
- 16: Loading Door Openings: New Infill for Historic Loading Door Openings
- 18: New Additions: New Additions to Mid Size Historic Buildings
- 21: Adding New Openings: Adding New Openings on Secondary Elevations
- 22: Adding New Openings: Adding New Entrances to Historic Buildings
- 23: Windows: Selecting New Windows to Replace Non-Historic Windows
- 26: Entrances and Doors: Entrance Treatments
- 27: Awnings: Adding Awnings to Historic Storefronts and Entrances
- 29: Garage Doors: Adding Vehicular Entrances and Garage Doors to Historic Buildings
- 33: Secondary Elevations: Alterations to Rear Elevations
- 36: Rooftop Additions
- 37: Rear Additions: Rear Additions to Historic Houses
- 38: Alterations Without Historical Basis
- 39: Site and Setting: Changes to Historic Site
- 41: Incompatible Alterations to the Setting and Environment of a Historic Property
- 47: Rooftop Additions on Mid-Size Historic Buildings
- 50: Reusing Special Use Structures
- 51: Installing New Systems in Historic Buildings
- 52: Incorporating Solar Panels in a Rehabilitation Project
- 53: Designing New Additions to Provide Accessibility
- 54: Installing Green Roofs on Historic Buildings
- 56: Alterations Without Historical Basis

Preservation Tech Notes

<http://www.nps.gov/tps/how-to-preserve/tech-notes.htm>

Exterior Woodwork

- 1: Proper Painting and Surface Preparation. Sharon Park, AIA. 1986.
- 2: Paint Removal from Wood Siding. Alan O'Bright. 1986.
- 4: Protecting Woodwork Against Decay Using Borate Preservatives. Ron Sheetz and Charles Fisher. 1993.

Masonry

- 4: Non-destructive Evaluation Techniques for Masonry Construction. Marilyn E. Kaplan, Marie Ennis and Edmund P. Meade. 1997.

Metals

- 6: Repair and Reproduction of Metal Canopies and Marquees with Glass Pendants. Lauren Van Damme and Charles E. Fisher. 2006.

Temporary Protection

- 3: Protecting A Historic Structure during Adjacent Construction. Chad Randl. 2001.

Windows

- 1: Planning Approaches to Window Preservation. Charles Fisher. 1984.
- 3: Exterior Storm Windows: Casement Design Wooden Storm Sash. Wayne Trissler and Charles Fisher. 1984.
- 4: Replacement Wooden Frames and Sash. William Feist. 1984.
- 5: Interior Metal Storm Windows. Laura Muckenfuss and Charles Fisher. 1984.
- 6: Replacement Wooden Sash and Frames With Insulating Glass and Integral Muntins. Charles Parrott. 1984.
- 7: Window Awnings. Laura Muckenfuss and Charles Fisher. 1984.
- 9: Interior Storm Windows: Magnetic Seal. Charles Fisher. 1984.
- 10: Temporary Window Vents in Unoccupied Historic Buildings. Charles Fisher and Thomas Vitanza. 1985.
- 11: Installing Insulating Glass in Existing Wooden Sash Incorporating the Historic Glass. Charles Fisher. 1985.
- 14: Reinforcing Deteriorated Wooden Windows. Paul Stumes, P.Eng 1986.
- 16: Repairing and Upgrading Multi-Light Wooden Mill Windows. Christopher W. Closs. 1986.